CITY OF KELOWNA

MEMORANDUM

DATE: FEBRUARY 8, 2006

TO: CITY MANAGER

FROM: PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

APPLICATION NO. DP06-0092
DVP06-0093

OWNER: 0701849 BC LTD.

AT: 1094 LAWSON AVENUE

APPLICANT: HERMAN PLANNING GROUP INC.

PURPOSE: TO CONSTRUCT A 13-UNIT CONDO/APARTMENT BUILDING ON THE SUBJECT PROPERTY

TO VARY THE LOT WIDTH IN THE RM4 ZONE FROM 30.0M REQUIRED TO 27.48M PROPOSED.

TO VARY THE SITE COVERAGE FOR BUILDINGS, PARKING AND PAVED AREAS FROM 60% PERMITTED TO 61.4% PROPOSED.

TO VARY THE PROPOSED HEIGHT FROM 3 STOREYS PERMITTED TO 3.5 STOREYS PROPOSED.

TO VARY THE FRONT YARD SETBACK FOR THE ENCROACHMENT OF THE TOP OF THE PARKADE STRUCTURE FROM 6.0M REQUIRED TO 3.92M PROPOSED.

TO VARY THE REAR YARD SETBACK FOR THE ENCROACHMENT OF THE TOP OF THE PARKADE STRUCTURE FROM 9.0M REQUIRED TO 7.95M PROPOSED.

TO VARY THE NORTHERN SIDE YARD SETBACK FOR THE ENCROACHMENT OF THE TOP OF THE PARKADE STRUCTURE FROM 4.5M REQUIRED TO 1.89M PROPOSED.

TO VARY THE PRIVATE OPEN SPACE FROM 290M^2 REQUIRED TO 190.01M^2 PROPOSED.

EXISTING ZONE: RU6 – TWO DWELLING HOUSING

PROPOSED ZONE: RM4 – TRANSITIONAL LOW DENSITY HOUSING

EXISTING OCP DESIGNATION: MULTIPLE UNIT RESIDENTIAL – LOW DENSITY

PROPOSED OCP DESIGNATION: MULTIPLE UNIT RESIDENTIAL – MEDIUM DENSITY

REPORT PREPARED BY: RYAN SMITH

1.0 RECOMMENDATION

THAT Final Adoption of Zone Amending Bylaw No. 9665 be considered by Council;

AND THAT Council authorize the issuance of Development Permit No. DP06-0092 for Lot 2, District Lot 138, ODYD Plan 3908, located at 1094 Lawson Avenue, Kelowna, B.C. subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in general accordance with Schedule "A";

2. The exterior design and finish of the building to be constructed on the land be in general accordance with Schedule "B";

3. Landscaping to be provided on the land be in general accordance with Schedule "C";

4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper;

AND THAT Council authorize the issuance of Development Variance Permit No. DVP06-0093; Lot 2, District Lot 138, ODYD Plan 3908, located at 1094 Lawson Avenue, Kelowna, B.C.;

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.5(a):

Vary the lot width in the RM4 zone from 30.0m required to 27.48m proposed.

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.6(b):

Vary the site coverage for buildings, parking and paved areas from 60% permitted to 61.4% proposed.

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.6(c):

Vary the proposed height from 3 storeys permitted to 3.5 storeys proposed.

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.6(d):

Vary the front yard setback for the encroachment of the top of the parkade structure from 6.0m required to 3.92m proposed.

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.6(f):

Vary the rear yard setback for the encroachment of the top of the parkade structure from 9.0m required to 7.95m proposed.

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.6(e):

Vary the northern side yard setback for the encroachment of the top of the parkade structure from 4.5m required to 1.89m proposed.

Section 13.10 - RM4 – Transitional Low Density Housing: 13.10.7(a):

Vary the private open space from 290m^2 required to 190.01m^2 proposed.

AND FURTHER THAT the applicant be required to complete the above-noted conditions within 180 days of Council approval of the development permit application in order for the permit to be issued.

2.0 SUMMARY

The applicants are proposing to construct a 13-unit condo/apartment building on the subject property located at 1094 Lawson Avenue. Also associated with the Development Permit application for the buildings form and character is a Development Variance Permit to address a number of site related development issues.

3.0 ADVISORY PLANNING COMMISSION

At the regular meeting of June 6, 2006 it was resolved:

> THAT the Advisory Planning Commission supports Official Community Plan Amendment No. OCP06-0007, for 1094 Lawson Avenue, Lot 2, Plan 3809, Sec. 19, Twp. 26, ODYD, by J Herman Group Inc (J. Herman), to amend the Official Community Plan Future Land Use designation from Multiple Unit Residential – Low Density to Multiple Unit Residential – Medium Density;
>
> AND THAT the Advisory Planning Commission supports Rezoning Application No. Z06-0028, for 1094 Lawson Avenue, Lot 2, Plan 3809, Sec. 19, Twp. 26, ODYD, by J Herman Group Inc (J. Herman), to to rezone from the RU6-Two Dwelling Housing zone to the RM4-Transitioal Low Density Housing zone to allow for a 12 unit apartment building;
>
> AND THAT the Advisory Planning Commission ***not*** support Development Permit Application No. DP06-0092, for 1094 Lawson Avenue, Lot 2, Plan 3809, Sec. 19, Twp. 26, ODYD, by J Herman Group Inc (J. Herman), to obtain a Development Permit for the form and character of a 3 storey, 12 unit apartment building;
>
> *As a result of the Advisory Planning Commission not supporting the Development Permit there was no recommendation for the Development Variance Permit.*

*Note: Since the Advisory Planning Commission meeting, the applicant has added an affordable housing component in order to address concerns raised by the commission.

4.0 BACKGROUND

Development on this site was formerly controlled by a Land Use Contract. This contract was removed in a re-development attempt which occurred in 2003/2004. This Land Use Contract limited the permitted uses on this site to parking for the employees of People's Food Market. The People's Food Market and its successor IGA are no longer in

operation and the site which they formerly occupied is now being re-developed as the Centuria Urban Village mixed use development.

5.0 PROPOSAL

The proposed 13-unit building would measure 3.5 storeys in height and would be accessed via a driveway from Lawson Avenue. The development would accommodate 20 stalls in the underground parkade and 2 stalls at grade. The applicant is planning to provide 3 two-bedroom and 1 one-bedroom units on the first storey and 4 two-bedroom suites on each of the two floors above. The applicant will designate the two one-bedroom units on the first-storey as affordable units which will be protected by a housing agreement.

The pedestrian entrance to the building is also facing Lawson Avenue. The applicant has chosen a tan hardi-plank with olive and red accents to finish the exterior walls of the building. The applicant has also indicated that cultured stone will be used as an accent around the base of the building. The proposed roofing material is a dark asphalt shingle.

A significant amount of mature vegetation currently exists along the Gordon Drive frontage of the property as well as the western property line. This vegetation will be removed in order to accommodate the new development. The applicant is however proposing a comprehensive landscape scheme which will allow for landscape buffering along the street frontages, a pergola type entry feature to the building, and private open space on the northwest corner of the property.

The applicant is seeking a Development Variance Permit to address three setback variances at the parkade level (as the parkade extends more than 0.6m above grade). The applicant is proposing a setback of 1.89m to the northern property line where the bylaw requires 4.5m (side yard). The applicant is also proposing a setback of 3.92m to the eastern property line where a setback of 6.0m (front yard) is required and a setback of 7.95m to the parking structure where 9.0m is required along the western property line. In addition to the variances listed above, the applicant has also applied to vary the maximum site coverage for buildings and parking from 60% permitted to 61.4% proposed and the height from 3 storeys permitted to 3.5 storeys proposed to accommodate a parkade structured that will be located half below grade.

The application compares to the requirements of the RM4 – Transitional Low-Density Housing zone as follows:

CRITERIA	PROPOSAL	RM4 ZONE REQUIREMENTS
Lot Area (m^2)	1494m^2 (Includes required road widening)	900m^2
Lot Width (m)	30.45m	30m
Lot Width (m) (after dedication)	27.45m❶	30m
Lot Depth (m)	49.0m	30m
Area of Buildings at Grade	732.06m^2	746.7m^2
Area of Pavement, Accessory Buildings, etc…	917.3m^2	896.1m^2
Site Coverage (%)(Buildings)	49%	50%
Site Coverage (%)(Buildings and paved areas)	61.4%❷	60%
Net Floor Area (m^2)	1267m^2	
Floor Area Ratio (FAR)	0.85 (after dedication)	0.85
Private Open Space	190.01$m^2$❼	290m^2

Parking Spaces	20	11 units x 1.5 stalls/unit 1 units x 1.25 stalls/unit **Total: 18 stalls**
Bicycle Parking	10	10
Storeys (#)	3.5❸/ 14.2m	3/ 13m
Setbacks (building)(m)		
- Front	6.7m	6.0m
- Rear	10.1m	9.0m
- Side (n)	2.5m	4.9m
- Side (s)	2.5m	4.5m
Setbacks (to parkade)(m)		
- Front (Gordon)	3.92m❹	6.0m
- Rear	7.95m❺	9.0m
- Side (n)	1.89m❻	4.9m
- Side (s) (Lawson)	4.5m	4.5m
Drive Aisle Width	7.0m	7.0m
Refuse Bins (Setback from abutting residential areas)	3.0m	3.0m

❶ Applicant seeking to vary the lot width in the RM4 zone from 30.0m required to 27.48m proposed.

❷ The applicant is seeking to vary the site coverage for buildings, parking and paved areas from 60% permitted to 61.4% proposed.

❸ The applicant is seeking to vary the proposed height from 3 storeys permitted to 3.5 storeys proposed.

❹ The applicant is proposing to vary the front yard setback for the encroachment of the top of the parkade structure from 6.0m required to 3.92m proposed.

❺ The applicant is proposing to vary the rear yard setback for the encroachment of the top of the parkade structure from 9.0m required to 7.95m proposed.

❻ The applicant is proposing to vary the northern side yard setback for the encroachment of the top of the parkade structure from 4.5m required to 1.89m proposed.

❼ The applicant is proposing to vary the private open space from 290m^2 required to 190.01m^2 proposed.

6.0 SITE CONTEXT

The subject property is located on the northwest corner of Gordon Drive and Lawson Avenue. The current use of the property is a parking lot.

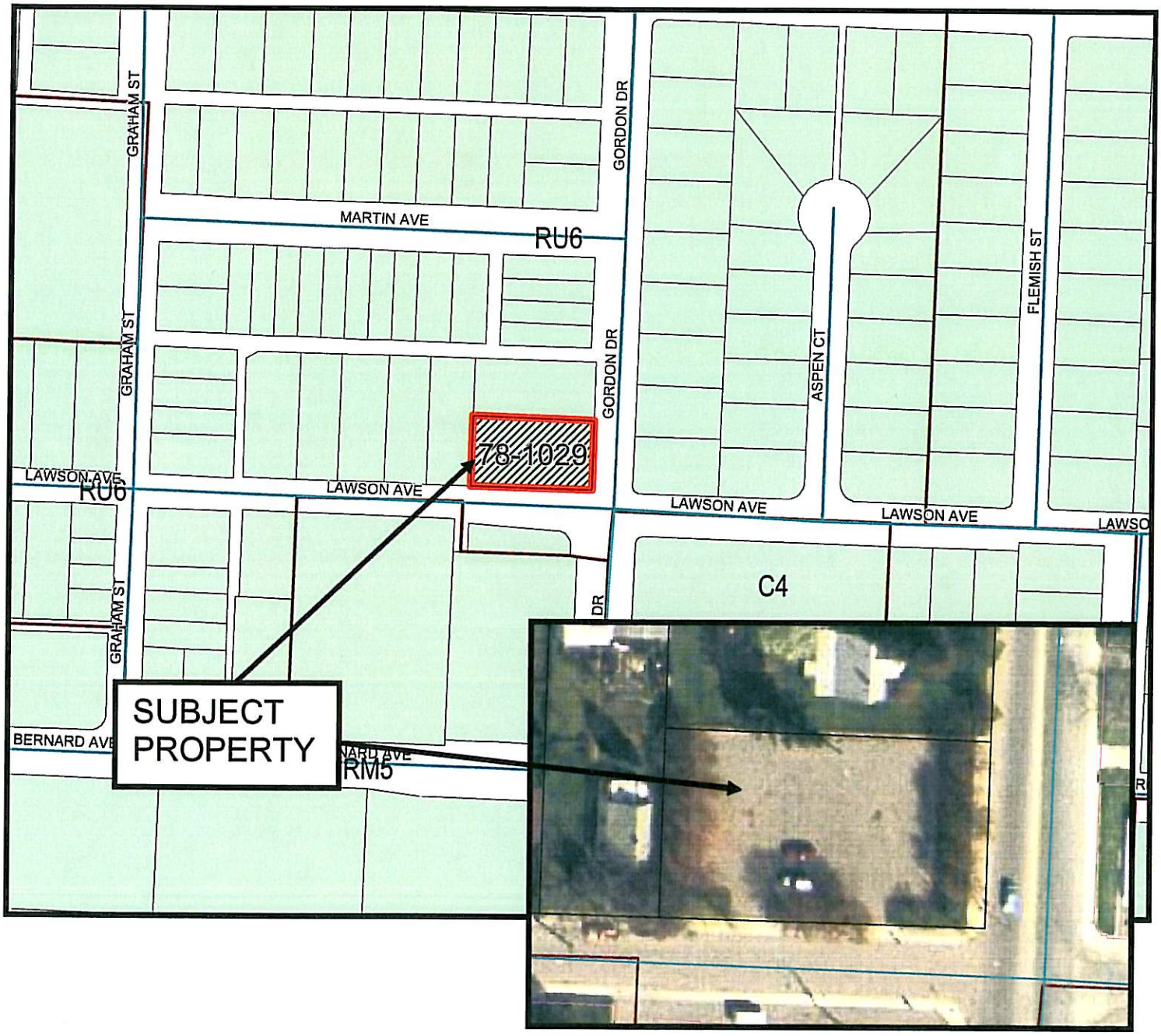
Adjacent zones and uses are:

North - RU6 – Two Dwelling Housing – Single Family Dwelling
East - RU6 – Two Dwelling Housing – Single Family Dwelling

South - RM5 – Medium Density Multiple Housing – Apartments
West - RU6 – Two Dwelling Housing– Single Family Dwelling

7.0 SITE LOCATION MAP

Subject Properties: 1094 Lawson Avenue



8.0 CURRENT DEVELOPMENT POLICY

8.1 Existing Development Potential

The subject property is currently zoned RU6 – Two Dwelling Housing. The RU6 zone allows for the development of a maximum of two dwelling units per lot.

8.2 Kelowna Official Community Plan

Objectives for Multiple Unit Residential Development

- All development should be an appropriate response to its physical context, or anticipated future context where an area is designated for increased density or land use transition in the OCP.
- All development within Urban Centres and Village Centres should contribute to the creation of pedestrian-oriented streets and public spaces (connections, social interaction).
- All development should contribute to a sense of community identity and sense of place (integration of development within larger community, belonging, community cohesiveness).
- All development should facilitate access by, and minimize conflicts among pedestrian, bicycle, and vehicular modes of transportation (access, mobility).
- All development should promote safety and security of persons and property within the urban environment (CPTED).

9.0 TECHNICAL COMMENTS

This application was circulated to various City Departments and Technical Agencies at the rezoning stage and technical issues were circulated to and addressed by the applicant at that time.

10.0 PLANNING AND DEVELOPMENT SERVICES DEPARTMENT

In terms of form and character, the building does display "walk-up" style entrances from the street (Gordon Drive) which serves to strengthen its connection with the street. Staff has considered the variances and while the variances to building height and setbacks from the parkade are reasonable on a development of this nature which must deal with a high water table, the variance to total site coverage is of concern to staff. It should be noted that the variance could easily be reduced to meet the bylaw standard by decreasing the size of the building slightly, in turn this would also help the developer meet the private open space requirement for the development. While this is of concern to staff, given the provision of 2 affordable housing units, staff is willing to support all of the proposed variances.

Shelley Gambacort
Acting Development Services Manager

Approved for inclusion

Mary Pynenburg, MRAIC MCIP
Director of Planning & Development Services

MP/SG/rs
Attach.

Lawson
RM4 Transitional Low Density Housing

October 27th, 2006

	SF	SM	Parking
101	1120	104	1.5
102	1120	105	1.5
103	1120	104	1.5
104	1130	105	1.5
Totals	4,500	418	stalls 6.0

	SF	SM	Parking
201	1120	104	1.5
202	1130	105	1.5
203	1120	104	1.5
Bachelor 1	525	49	1.5
Bachelor 2	525	49	1.5
Total:	4,420	412	stalls 7.5

	SF	SM	Parking
301	1120	104	1.5
302	1130	105	1.5
303	1120	104	1.5
304	1130	105	1.5
Total:	4,500	418	stalls 6.0

	Area SF	Area SM	Stalls
Main Floor	4,500	418	6.0
2nd Floor	4,420	412	7.5
3rd Floor	4,500	418	6.0
Total Living Area:	13,420	1,248	19.5 required

RM4 Transitional Low Density Housing

	SF	SM	
Total Site Area:	18,857.0	1451.7	Provided
Site Coverage:	42%		
Site Coverage Allowed	6,422.6	596.7	2.6%
Coverage:	60%		
Site Coverage Allowed	9,634.2	895.02	
FAR (Max FAR 35 + 7)	0.95		
FAR 65 and .75 with housing agreement and 2 for parking sunkened from view			
FAR Allowed:	15,254.2	1,417	
FAR Area Provided:	13,420.0	1,246	

Architectural Drawing List

A.1- CONSTRUCTION ASSEMBLIES.
A.2- SITE PLAN.
A.3- PARKING LEVEL FLOOR PLAN.
A.4- MAIN LEVEL FLOOR PLAN.
A.5- SECOND LEVEL FLOOR PLAN.
A.6- THIRD LEVEL FLOOR PLAN.
A.7- ROOF PLAN.
A.8- ELEVATIONS.
A.9- ELEVATIONS.
A.10- BUILDING SECTIONS.
A.11- UNIT 101 PLAN.
A.12- UNIT 102 PLAN.
A.13- UNIT 103 PLAN.
A.14- UNIT 104 PLAN.
A.15- UNIT 201 PLAN.
A.16- UNIT 202 PLAN.
A.17- UNIT 203 PLAN.
A.18- UNIT 301 PLAN.
A.19- UNIT 302 PLAN.
A.20- UNIT 303 PLAN.
A.21- UNIT 304 & GUEST PLANS.
A.22- BACHELOR 1 & 2 PLANS.
A.23- STAIR PLANS & STAIR SECTION.
A.24- STAIR PLANS & STAIR SECTION.
A.25- WINDOW ELEVATION & DOOR SCHEDULE (SHEET 1 OF 2).
A.26- WINDOW ELEVATION & DOOR SCHEDULE (SHEET 1 OF 2).
A.27- DETAIL SECTIONS.
A.28- DETAIL SECTIONS.
A.29- DETAIL SECTIONS.
A.30- DEVELOPE DETAILS.
A.31- DEVELOPE NOTES.
A.32- SPECIFICATIONS SHEET 1 OF 2.
A.33- SPECIFICATIONS SHEET 2 OF 2.

LAWSON & GORDON

DP DRAWINGS January 31th, 2007

Project Name:
LAWSON & GORDON

Issue:
DP drawings

Print Date:
January 30th, 2007

CONSTRUCTION ASSEMBLIES

WALL ASSEMBLIES

NO.	DESCRIPTION	DETAIL
W1	FOUNDATION WALL 2 HR. FIRE RATED 8" POURED CONCRETE WALL (REFER TO STRUCT.) 2 COATS OF ASPHALTIC EMULSION DAMPPROOFING ON WATERPROOFING ON EXTERIOR FACE TO FINISHED GRADE (REFER TO SOILS REPORT)	PLAN VIEW
W2	ELEVATOR SHAFT - 1 1/2HR. FIRE RATED - INTERIOR B.C.B.C. TABLE A-9.10.3.1.A No.B1b, 55 STC 5/8" TYPE 'X' G.W.B BATT INSULATION TO FILL VOID 2 X 4 STUDS (REFER TO STRUCT.) 1" AIR SPACE W/ MTL. FIRESTOPPING @ FLOOR LEVELS 8" CONCRETE BLOCK WALL (REFER TO STRUCT.) TO ULC. U905 OR 8" CONC. WALL (REFER TO STRUCT.) N.B.C. TABLE 2.1.A	PLAN VIEW
W3	ELEVATOR SHAFT - 1 1/2HR. FIRE RATED - INTERIOR B.C.B.C. TABLE A-9.10.3.1.A No.B1b, 55 STC 8" CONCRETE BLOCK WALL (REFER TO STRUCT.)	PLAN VIEW
W4	GARAGE INTERIOR WALL 2 HR. FIRE RATED 8" POURED CONCRETE WALL (REFER TO STRUC.)	PLAN VIEW
W5	CONCRETE COLUMN 2HR. FIRE RATED B.C.B.C. (1998) 9-3.8 CAST IN PLACE CONCRETE COLUMNS (REFER TO STRUCT.) CLEAR COVER OVER BAR AS PER B.C.B.C. (1998) 9-2.8.3	SECTION
W6	EXTERIOR WALL 1 HR. FIRE RATED LOAD BEARING B.C.B.C. TABLE 9.10.3.1.A No. EW1a EXTERIOR CLADDING AS NOTED ON ELEVATIONS (SIDING) 2 LAYERS HAL-TEX "SUPER" 30 MINUTE BUILDING PAPER OR APPROVED EQUAL, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND THE ASSOCIATION OF WALL & CEILING CONTRACTORS OF B.C. SPECIFICATION STANDARDS MANUAL EXT. GRADE PLYWOOD (REFER TO STRUCT. FOR THICKNESS) 2x6 STUDS (REFER TO STRUCT.) R-20 BATT INSULATION 6 mm POLY VAPOUR / AIR BARRIER 5/8" TYPE 'X' G.W.B	PLAN VIEW
W7	1 HR F.R.R. FOR SUPPORTING WALLS 5/8" TYPE X GYPSUM BOARD 2x6 @ 16" o/c R20 BATT INSUL 5/8" TYPE X GYPSUM BOARD	PLAN VIEW
W8	INTERIOR PARTITION NON-LOAD BEARING 1/2" G.W.B 2x4 OR 2x6 STUDS @ 16" O.C. 1/2" G.W.B	PLAN VIEW
W9	EXTERIOR WALLS AT PARTY WALL BCBC ASSEMBLY NO. E1a 1 HR. F.R.R. STC 53 "HARDIE PLANK" SIDING 2 LAYERS BUILDING PAPER 1/2" PLYWOOD 2x6 @ 16" o/c R-20 BATT INSULATION 6 mil VAPOUR BARRIER 5/8" TYPE 'X' GYPSUM BOARD	PLAN VIEW

WALL ASSEMBLIES

NO.	DESCRIPTION	DETAIL
W10	ON WIRE MESH 2 PLY BUILDING PAPER 5/8" TYPE X EXT. G.W. 4" STRUC. ST. STUDS R20 BATT INSULATION 6 MIL POLY 5/8 TYPE X G.W.	PLAN VIEW
W11	PARTY WALL - 1 HR. FIRE RATED, MIN. 57 STC B.C.B.C. TABLE A-9.10.3.1.A NO W13a LOAD BEARING 5/8" TYPE 'X' G.W.B SHEAR WALL SHEATHING (REFER TO STRUCT.) 3 1/2" OR 5 1/2" SOUND BATT INSULATION 2" X 4" OR 2" X 6" STUDS (REFER TO STRUCT.) 1" AIR SPACE 2" X 4" OR 2" X 6" STUDS (REFER TO STRUCT.) 3 1/2" OR 5 1/2" SOUND BATT INSULATION 5/8" TYPE 'X' G.W.B NOTE APPLY CONTINUOUS ACOUSTICAL SEALANT TO BASE PERIMETER OF WALLS, AROUND ELECTRICAL AND ANY OTHER OPENINGS, AND AT THE JUNCTION OF INTERSECTING PARTITIONS. SHEATHING AND ANY OTHER MEMBRANE IS NOT TO BE LOCATED WITHIN AIR SPACE INTERIOR CAVITY OF PARTY WALLS AS IT WILL ADVERSELY AFFECT ACOUSTICAL PERFORMANCE OF PARTY WALLS.	PLAN VIEW
W12	CORRIDOR WALL - MIN. 55 STC 1 HR. FIRE RATED B.C.B.C. TABLE 9.10.3.1.A, No. W9d 2 LAYERS 1/2" TYPE 'X' G.W.B. RESILIENT METAL CHANNELS @ 16" O.C. 2x6 STUDS (REFER TO STRUCT. FOR SPACING) 3 1/2" SOUND BATT ONE SIDE SHEARWALL SHEATHING REFER TO STRUCTURE FOR LOCATION / SIZE 2 LAYERS 1/2" TYPE 'X' G.W.B. APPLY CONTINUOUS ACOUSTICAL SEALANT TO BASE PERIMETER OF WALLS, AROUND ELECTRICAL AND ANY OTHER OPENINGS, AND AT THE JUNCTION OF INTERSECTING PARTITIONS	PLAN VIEW
W13	PLUMBING WALL @ PARTY WALL, CORRIDOR WALL OR EXTERIOR WALL 5/8" TYPE 'X' G.W.B 2x6 STUDS @ 16" O.C. (REFER TO STRUCT.)	PLAN VIEW
W14	PLUMBING WALL NON-LOAD BEARING 5/8" TYPE 'X' G.W.B 2x6 STUDS @ 16" O.C. (REFER TO STRUCT.) 5/8" TYPE 'X' G.W.B	PLAN VIEW
W15	GABLE-END WALL EXTERIOR CLADDING AS NOTED ON ELEVATIONS 2 LAYERS HAL-TEX "SUPER" 30 MINUTE BLDG. PAPER EXTERIOR PLYWOOD SHEATHING (REFER TO STRUCT.) 2 x 4 FRAMING @ 16" O.C.	PLAN VIEW
W16	ATTIC AND SOFFIT FIRE STOPPING B.C.B.C. (1998) 3.1.11.5, 3.1.11.7 & 3.2.2.11 5/8" TYPE 'X' EXTERIOR GRADE GWB 2 X 4 FRAMING @ 16" O.C., CENTERED OVER PARTY WALL OR TRUSS W/ WEBS AT 16" O.C. MAX. 300 M 2 - REFER TO ROOF PLAN FOR LOCATIONS	PLAN VIEW

FLOOR ASSEMBLIES

NO.	DESCRIPTION	DETAIL
F1	CONCRETE SLAB ON GRADE (PARKING GARAGE) STEEL TROWEL FINISH WITH CONCRETE SEALER SLAB ON GRADE (REFER TO STRUCT.) SLOPE TO DRAINS @ 1/2" PER FOOT POLY. VAPOUR BARRIER C/W RADON SEAL 6 MIL. COMPACTED GRANULAR FILL (REFER TO GEOTECHNICAL SOILS REPORT) SLOPE TO DRAINS.	SECTION
F1a	CONCRETE SLAB ON GRADE (SIDEWALKS) 3 1/2" MINIMUM CONCRETE SLAB ON GRADE COMPACTED GRANULAR FILL REFER TO GEOTECHNICAL SOILS REPORT	SECTION
F2	SUSPENDED CONCRETE SLAB - 2 HR. FIRE RATED - 1ST FLOOR B.C.B.C. TABLE A 9.10.3.1 B. NO F1b STEEL TROWEL FINISH CURE SUITABLE TO FLOORING APPLICATION SUSPENDED CONCRETE SLAB (REFER TO STRUCT.)	SECTION
F3	SUSPENDED CONCRETE SLAB - 2 HR. FIRE RATED - DECK B.C.B.C. TABLE A 9.10.3.1 B. NO F1b "TYPEX" WATERPROOF TRAFFIC COATING OR EQUAL ON CONCRETE SLAB STEEL TROWEL FINISH CURE SUITABLE TO FLOORING APPLICATION SUSPENDED CONCRETE SLAB (REFER TO STRUCT.) SLOPE TO DRAIN. FULL COAT ADHESIVE VAPOUR BARRIER PAST HEATED SPACES OVER	SECTION
F4	SUSPENDED CONCRETE SLAB - 2 HR. FIRE RATED - PARKADE LOBBY CEILING - B.C.B.C. TABLE A 9.10.3.1 B. NO F1b 1 1/2" CONC. TOPPING STEEL TROWEL FINISH CURE SUITABLE TO FLOORING APPLICATION SUSPENDED CONCRETE SLAB (REFER TO STRUCT.) 2X4 STRAPPING @ 24" O.C. 5/8" G.W.B. TAPED & FILLED	SECTION
F5	2ND & 3RD FLOORS - 1 HR. FIRE RATED MIN. STC 55 Floor Assembly NO. F21d ENGINEER HWD SOUND INSULATION DECIBONE 1/2" GYPCRETE 1/4" THICK ACCOUSTIMAT 3/4" PLYWOOD 12" JOIST 2 LAYERS OF R20 INSULATION TO FILL CAVITY SOUND BAR 1/2" FIREGUARD TYPE "X" DRYWALL 5/8" DRYWALL NOTE ALL POT LIGHTS TO BE INSULATED @ INSULATION. BACK GLUE BAG PLANK TO DRYWALL WITH BLACK ACCOUSTICAL SEALANT AROUND FLANGE TO STOP AIR FLOW	SECTION

NOTE.
ARCHITECH RECOMMENDS NO HARD SURFACE FLOORING, SUCH AS HARDWOOD FLOORING

FLOOR ASSEMBLIES

NO.	DESCRIPTION	DETAIL
F6	CORRIDOR FLOOR - 1 HR. FIRE RATED - MIN. STC 53 B.C.B.C. TABLE A 9.10.3.1 B. No. F5a FINISH FLOORING AS SPECIFIED STEEL TROWEL FINISH CURE SUITABLE TO FLOORING APPLICATION 1 1/2" CONCRETE TOPPING (REFER TO STRUCT.) 3/8" RESILIENT ACOUSTICAL LAYER 5/8" T&G PLYWOOD SUBFLOOR (REFER TO STRUCT.) MINERAL BATT INSULATION CONFORMING TO NOTE 6, TABLE A-9.10.3.1.A FLOOR JOISTS (REFER TO STRUCT.) 2 PLY 5/8" TYPE "X" G.W.B SUSPENDED CEILING IN CORRIDORS. 2 X 4 STUDS @ MAX. 24" O.C. 5/8" G.W.B. CEILING C/W ACCESS PANELS @ JUNCTION BOXES & VALVE LOCATIONS	SECTION
F7	BALCONY DECKS TRAFFIC GRADE APPROVED WATERPROOFING MEMBRANE TURN UP WALL MIN. 8" (C/W CANTS) 5/8" T&G EXT. GRADE PLYWOOD SHEATHING (REFER TO STRUCT.) SLOPE 1/4" PER 1'-0" DECK JOISTS (REFER TO STRUCT.) 2" X 2" FRAMING PERPENDICULAR TO DECK JOISTS -MIN. 1 1/2" DEPTH FOR CROSS VENTILATION 5/8" G.W.B. TYPE "X" EXTERIOR GRADE (TEX) OR PRE-FINISHED METAL OR VINYL SOFFIT PANEL (PERFORATED) DECK VENTING AS REQ'D (REFER TO DETAILS)	SECTION
F8	1 HR. F.R.R REINFORCED FIBREGLASS DECKING 3/4" EXTERIOR GRADE PLYWOOD 2x4 STRAPPING @ 12" o/c TAPERED 1 1/2" WIDE STRAPPING (SLOPE FROM 3 1/8" TO 0") 2x8 FLOOR JOISTS (SEE STRUCTURAL FOR SPACING) R-20 BATT INSULATION 6 mil POLY VAPOUR BARRIER 2 LAYERS 5/8" TYPE X GYPSUM BOARD	SECTION
F9	CONCRETE STAIR & LANDING CONCRETE STAIR & LANDING (REFER TO STRUCT.) PROVIDE NON-SLIP SURFACES IN CONFORMANCE W/ B.C.B.C. 1998 PROVIDE TACTIVE FROM MOUNTED ADVANCE WARNING STRIP 36" WIDE	SECTION
F10	STAIR & LANDING, STC 53 B.C.B.C. TABLE A 9.10.3.1 B. NO F5a FINISH FLOORING AS SPECIFIED STEEL TROWEL FINISH CURE SUITABLE TO FLOORING APPLICATION 1 1/2" CONCRETE TOPPING 7/16" FIBRE BOARD IMPACT RESISTANCE LAYER 5/8" T&G PLYWOOD SUB-FLOOR (REFER TO STRUCT.) FLOOR JOISTS (REFER TO STRUCT.) 1-LAYER 5/8" G.W.B	SECTION

ROOF ASSEMBLIES

NO.	DESCRIPTION	DETAIL
R1	SLOPED ROOF - 1 HR. FIRE RATED B.C.B.C. (1998) TABLE A.9.10.3.1.B. No. M2 LAMINATED FIBRE GLASS ASPHALT SHINGLES RIDGE VENTING & ROOF JACKS AS REQUIRED PER B.C.B.C. (1998) 9.19.1 NOTE - UNOBSTRUCTED ROOF VENTILATION - MIN. 1/300 OF INSULATED CEILING AREA EAVE PROTECTION PER B.C.B.C. (1998) 9.26.5 1/2" PLYWOOD SHEATHING (REFER TO STRUCT.) 2x FRAMING AND/OR ENGINEERED TRUSSES 5" PRE-FIN METAL GUTTER R-40 BATT INSULATION 6 MIL. POLY. VAPOUR / AIR BARRIER 5/8" TYPE 'X' G.W.B 5/8" TYPE 'X' G.W.B	6 / 12 SECTION
R2	SLOPED ROOF - 1 HR. FIRE RATED B.C.B.C. (1998) TABLE A.9.10.3.1.B. No. M2 SAME AS R1 - NO INSULATION - NO G.W.B.	6 / 12 SECTION
R3	ROOF OVERHANG - (SHED ROOFS SIMILAR) LAMINATED FIBRE GLASS ASPHALT SHINGLES EAVE PROTECTION PER B.C.B.C. (1998) 9.19.1 PRE-FINISHED METAL FLASHING 1/2" PLYWOOD SHEATHING (REFER TO STRUCT.) TRUSS OVERHANG OR 2x FRAMING (SEE TRUCT.) 5" PRE-FIN METAL GUTTER 2X6 SUB-FASCIA (REFER TO STRUCT.) 1X8 FASCIA BOARD (CLAD W/ PREFINISHED METAL) 2X8 FASCIA BOARD (CLAD W/ PREFINISHED METAL) 2X8 ATTACHED TO TRUSS TAIL (BY TRUSS MANUF.) 1X4 V-JOINT SOFFIT C/W 3" WIDE CONT. SCREENED VENT	6 / 12 SECTION
R4	ELEVATOR SHAFT - 1 HR. FIRE RATED B.C.B.C. TABLE A.9.10.3.1.B. No. M2 (REFER TO STRUC.) R-40 BATT INSULATION 6 MIL. POLY. VAPOUR / AIR BARRIER 5/8" TYPE 'X' G.W.B 5/8" TYPE 'X' G.W.B	SECTION

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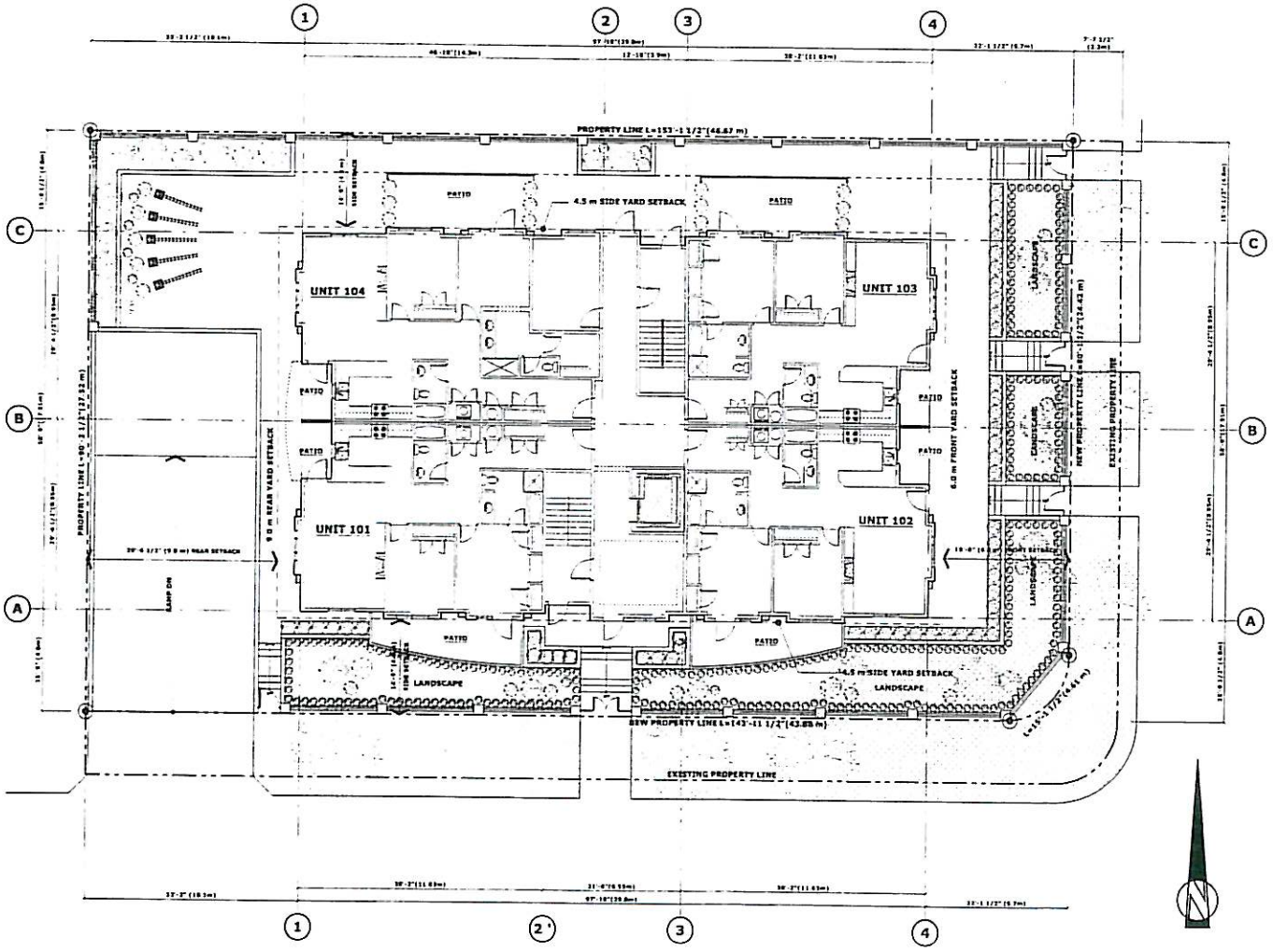
Email: info@gooch-architects.com

LAWSON
& GORDON

Ed Gooch	A-1
James Herman	
Tri Manh	
Jan.31.07	
LAWSON & GORDON	
Kelowna, British Columbia	
THIRD LEVEL FLOOR PLAN	



1 A-2 SITE PLAN
Scale: 1/100

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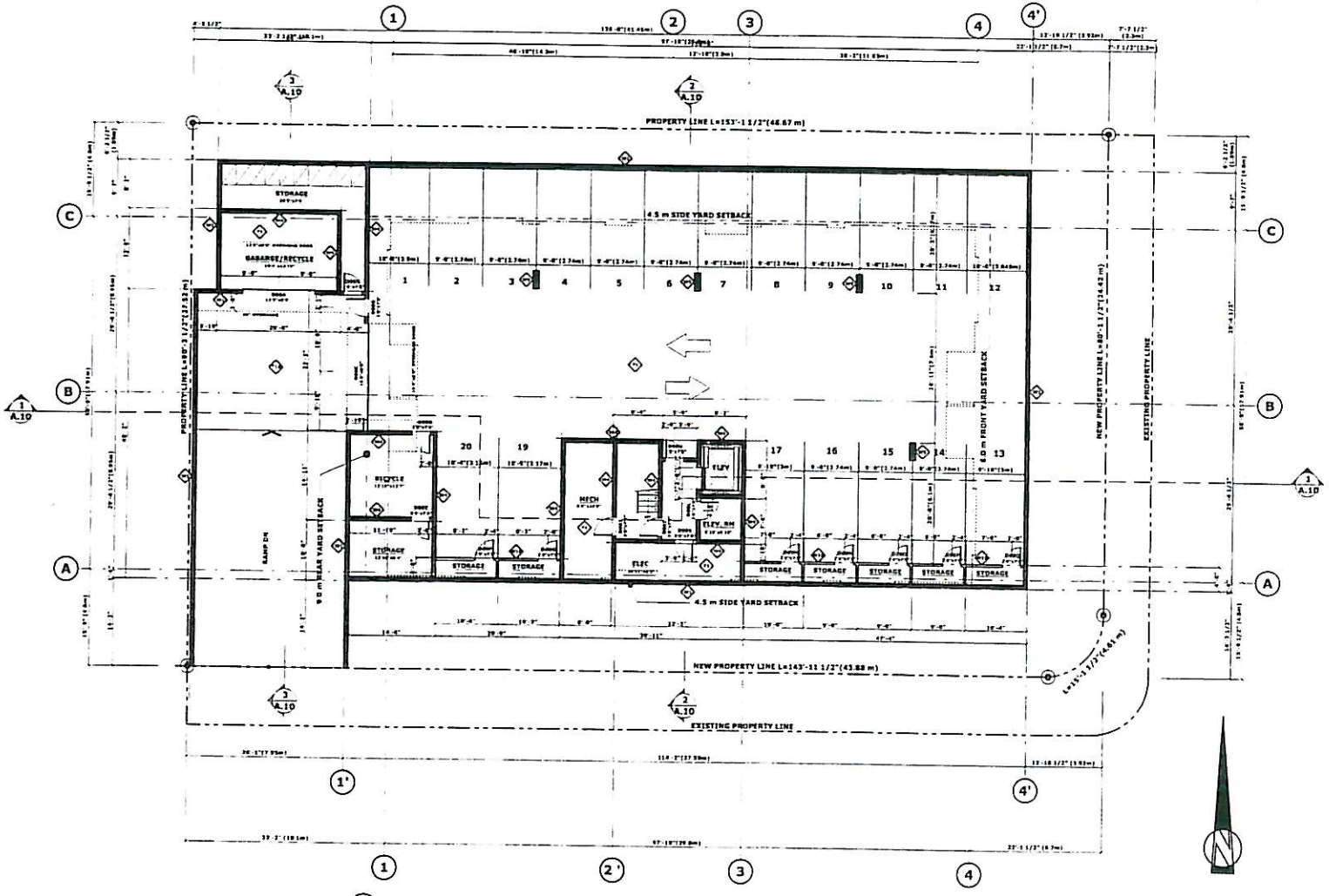
Email: info@gochearchitects.com

LAWSON & GORDON

Ed Gooch	A-2
James Herman	
Tri Manh	
Jan 31 07	

LAWSON & GORDON
Kelowna, British Columbia
SITE PLAN



1 A.3 PARKING LEVEL FLOOR PLAN
Scale: 1/100

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Project Manager & Marketing

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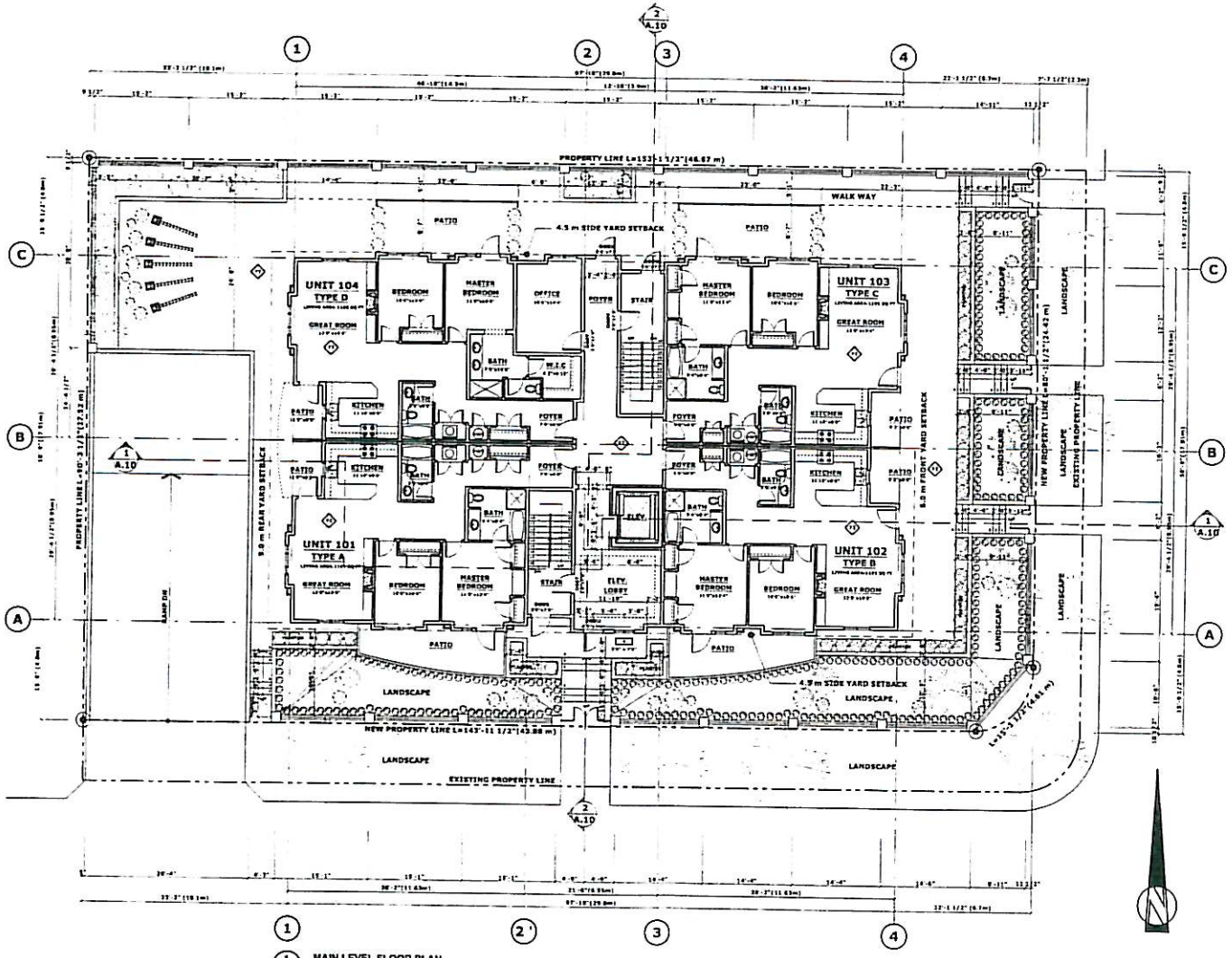
Gooch Architect or Engineer

LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet #: A-3
Job #:	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Drawing Name: PARKING LEVEL FLOOR PLAN	



1 A.4 MAIN LEVEL FLOOR PLAN
Scale: 1/100

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Project Manager & Marketing

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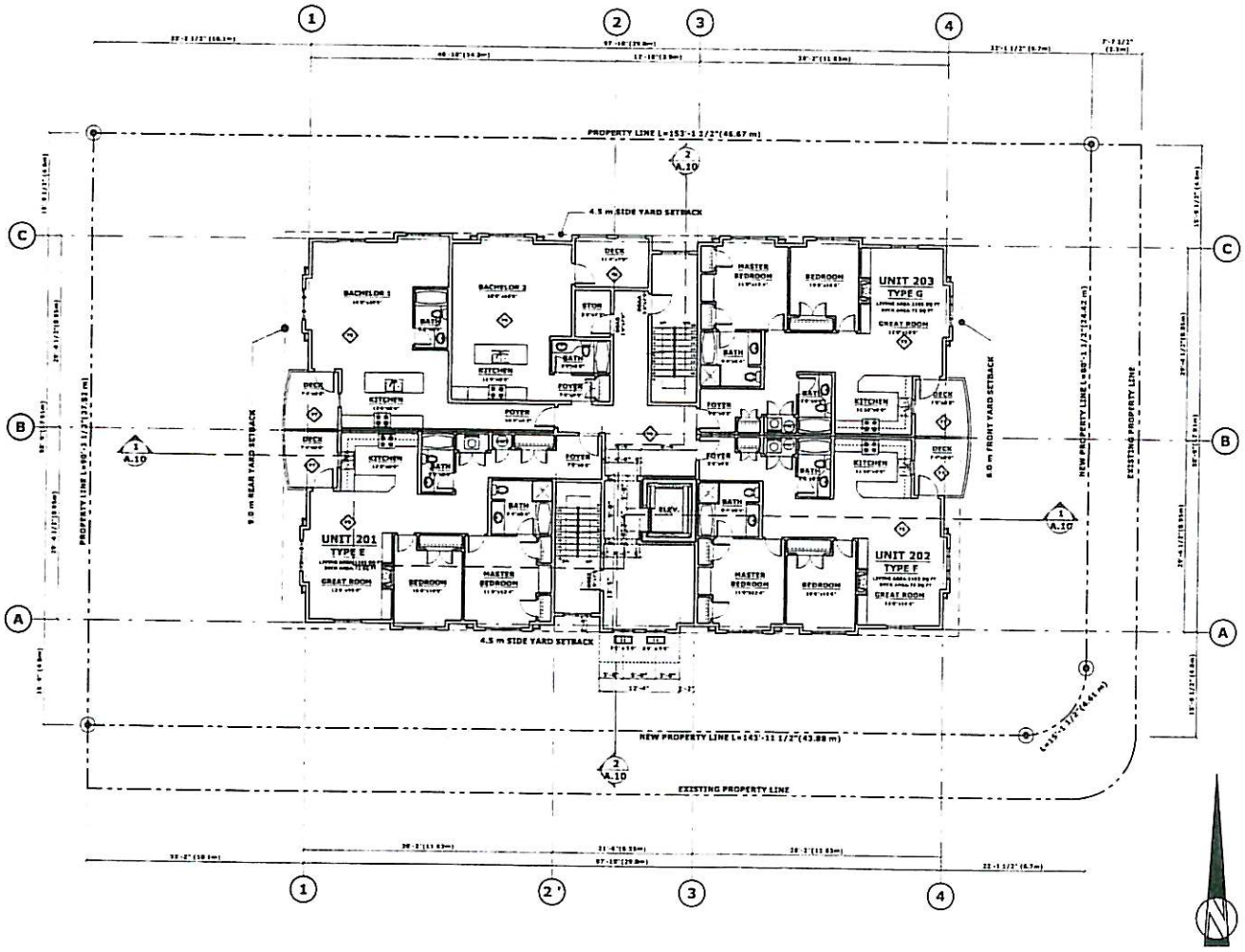
Local Architect of Engineer

LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet: A-4
Job #:	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: MAIN LEVEL FLOOR PLAN	



1 A-5 SECOND LEVEL FLOOR PLAN
Scale: 1/100

Herman Planning Group, Inc.

Project Manager & Marketing

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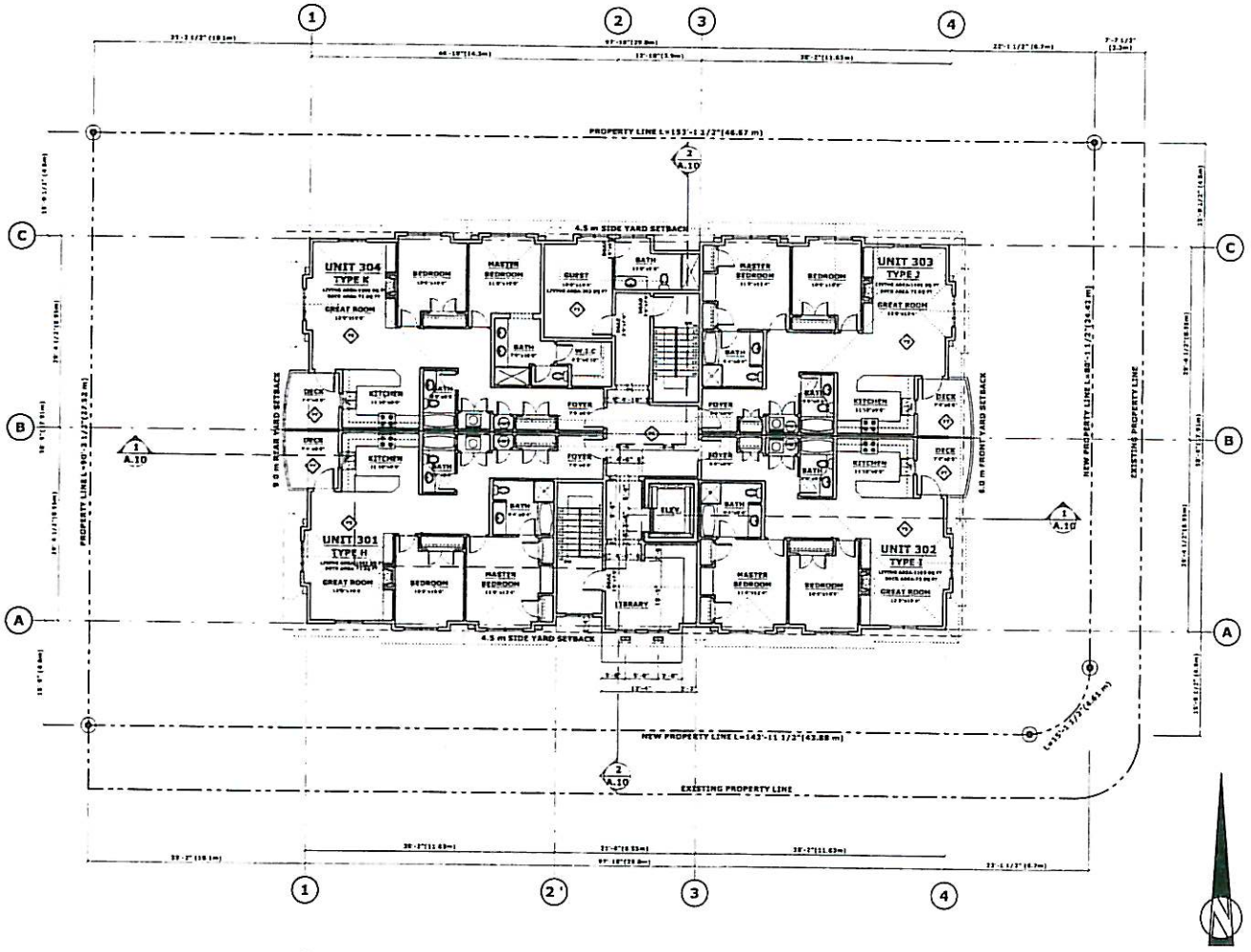
Local Architect or Engineer

LAWSON
& GORDON

Project Manager: Ed Gooch	Sheet # A-5
Job #	
Project Designer: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: SECOND LEVEL FLOOR PLAN	



1 / A.6 THIRD LEVEL FLOOR PLAN
Scale: 1/100

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Project Manager & Marketing

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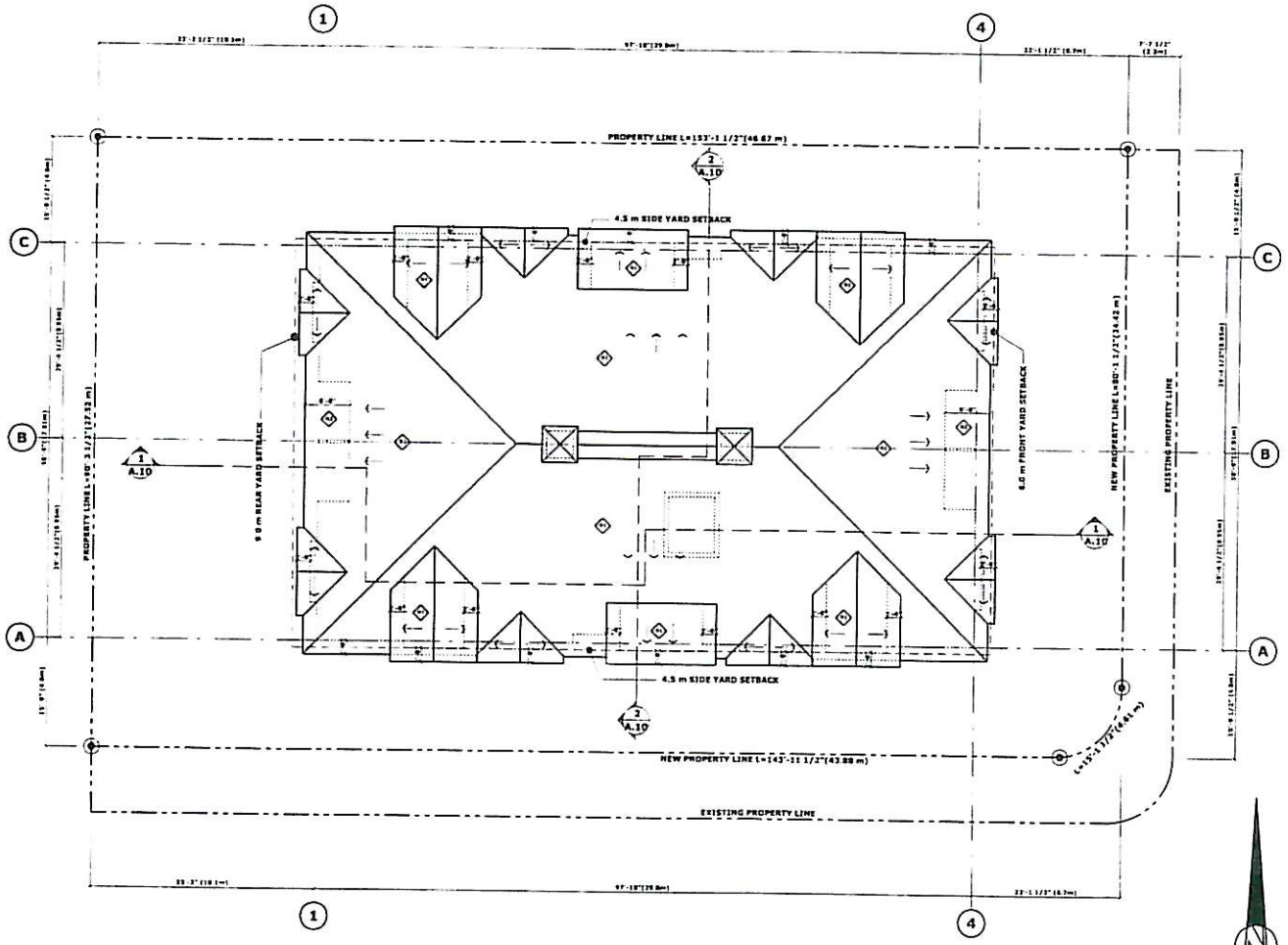
LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet # A-6
Job #	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: THIRD LEVEL FLOOR PLAN	



1 A.7 ROOF PLAN
Scale: 1/190

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Project Management & Marketing

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Gooch Architect or Engineer

LAWSON & GORDON

Project Architect: Ed Gooch	Sheet # A-7
Job #	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: ROOF PLAN	

1 A.8 GORDON ELEVATION
Scale: 1/100

2 A.8 LAWSON ELEVATION
Scale: 1/100

LEGEND :

1 : FIBRE GLASS HIGH FRICTION ASPHALT SHINGLES
2 : PAINTED WOOD SHINGLES
3 : 6" WOOD BOARD SIDING
4 : PAINTED WOOD BOARD AND BATTEN
5 : CULTURED STONE

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LAWSON & GORDON

Project Engineer: Ed Gooch	Sheet # A-8
Job #	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan 31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: ELEVATIONS	

1 A.9 **WEST ELEVATION**
Scale: 1/100

2 A.9 **NORTH ELEVATION**
Scale: 1/100

LEGEND :

1. FIBRE GLASS HIGH FRICTION ASPHALT SHINGLES
2. PAINTED WOOD SHINGLES
3. 6" WOOD BOARD SIDING
4. PAINTED WOOD BOARD AND BATTEN
5. CULTURED STONE

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Project Manager & Marketing

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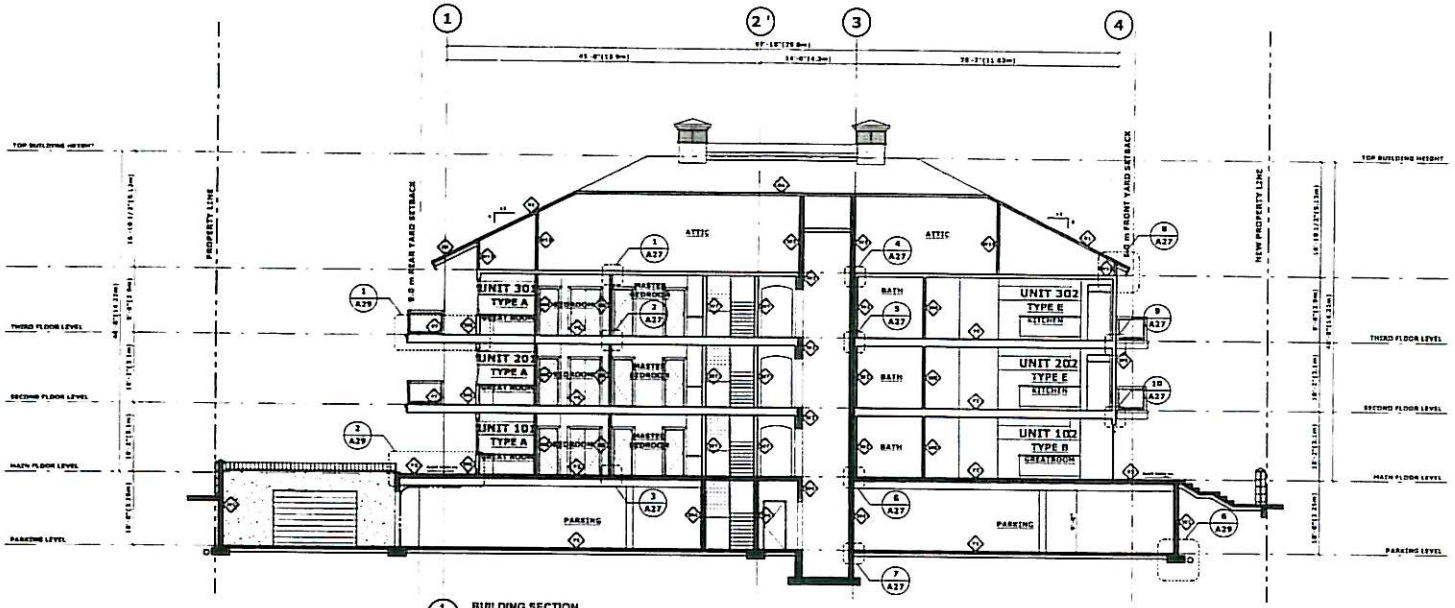
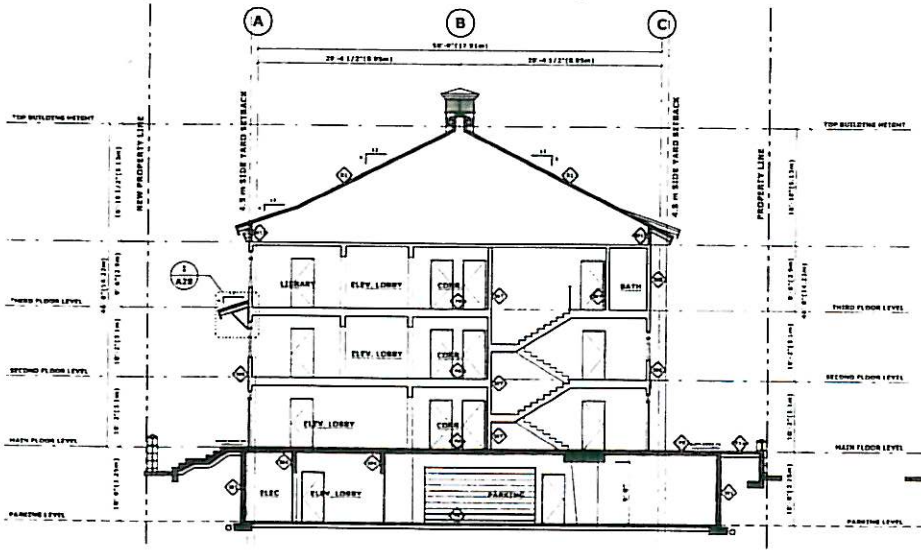
Local Architect of Register

LAWSON & GORDON

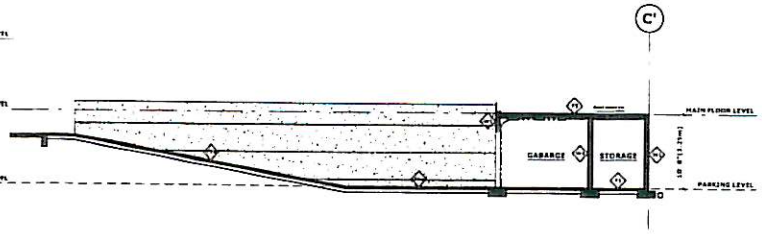
Project Architect: Ed Gooch	Sheet: A-9
Job #:	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan 31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: ELEVATIONS	



1 A.10 BUILDING SECTION
Scale: 1/100



2 A.10 BUILDING SECTION
Scale: 1/100



3 A.10 BUILDING SECTION
Scale: 1/100

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Project Managers & Marketing

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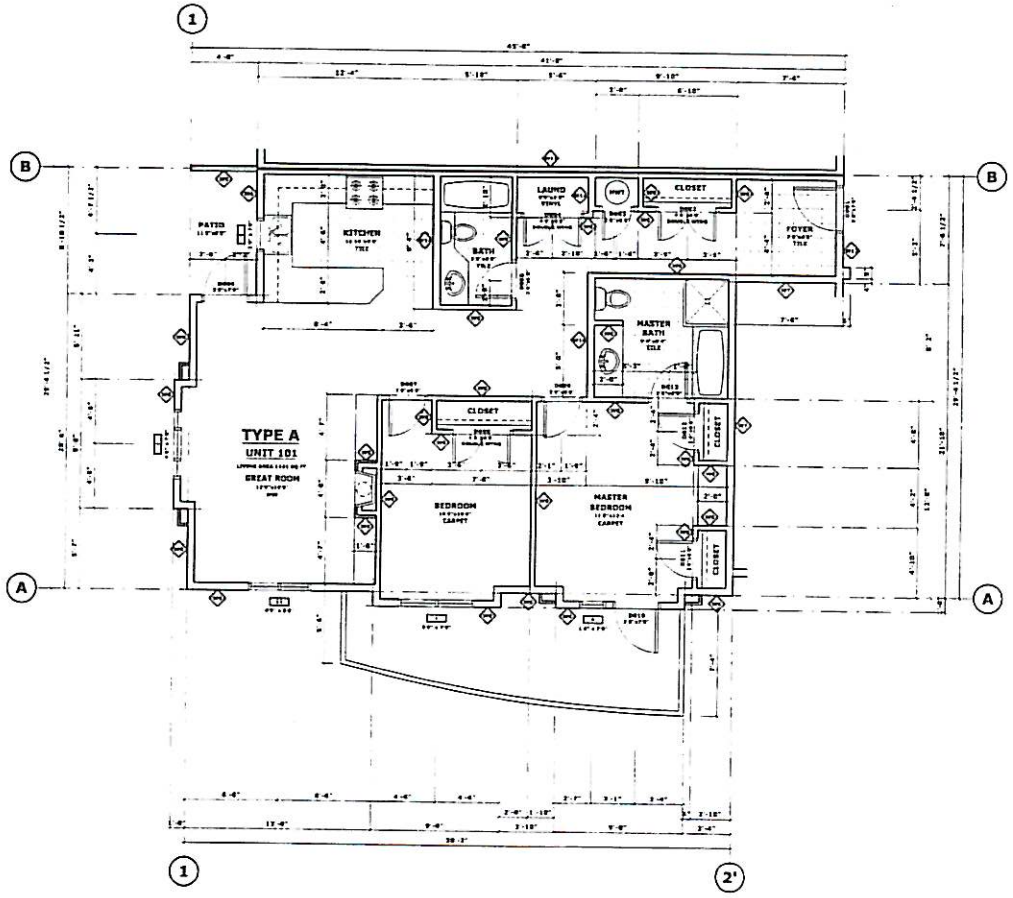
Local Architect or Engineer

LAWSON & GORDON

Ed Gooch	Sheet # A-10
Job #	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan 31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: BUILDING SECTIONS	



1 A-11 UNIT 101 PLAN
Scale: 1/4"=1'-0"

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Project Manager & Marketing

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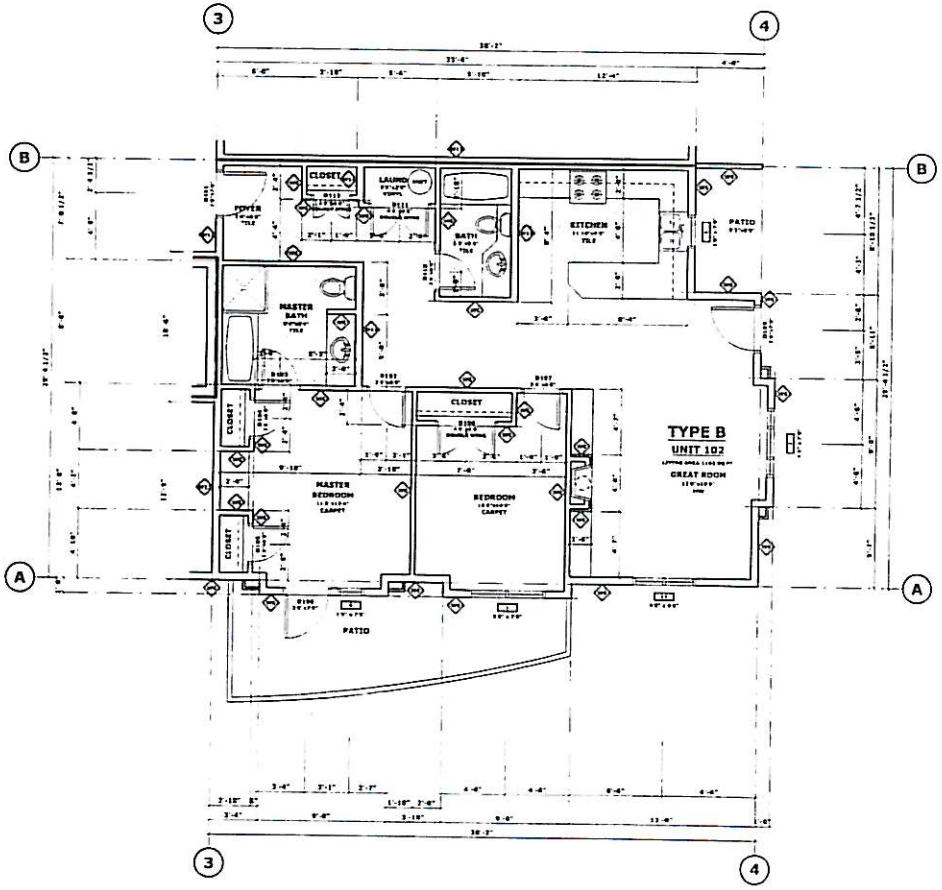
Email: info@gocharchitects.com

LAWSON
& GORDON

Project & Client: Ed Gooch	Sheet #: A-11
Job #:	
Project Manager: James Herman	
Drawn: Tri Mann	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: UNIT 101 PLAN	



1 / A.12 UNIT 102 PLAN
Scale: 1/4"=1'-0"

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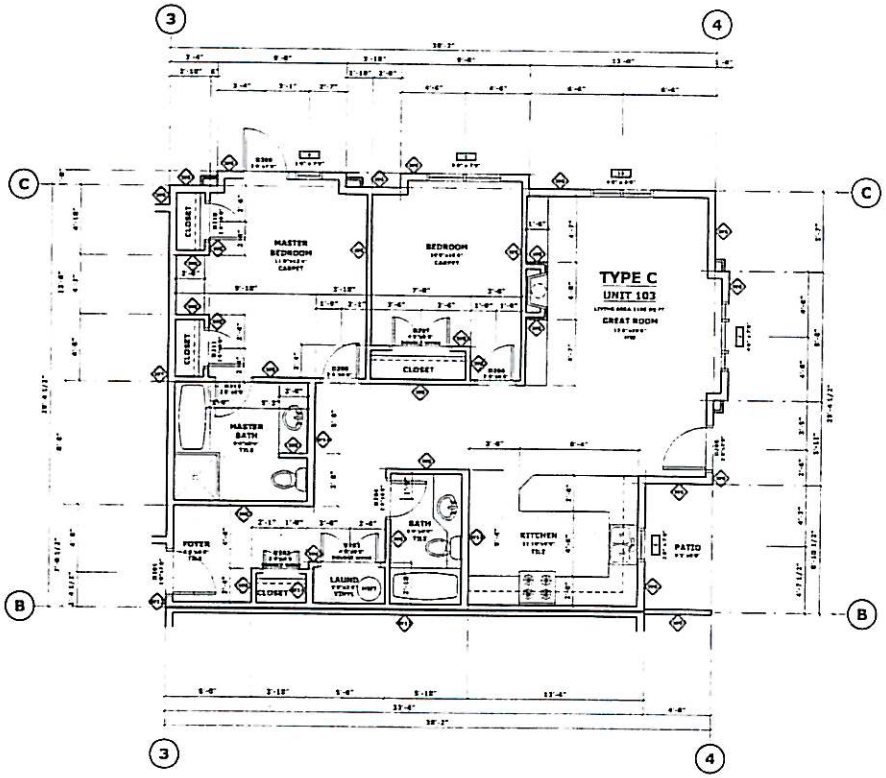
Lead Architect or Engineer

LAWSON
& GORDON

Project Architect: Ed Gooch	Drawing #
Project Manager: James Herman	A-12
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Drawing Name: UNIT 102 PLAN	



1 A-13 UNIT 103 PLAN
Scale: 1/4"=1'-0"

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Project Manager & Marketing

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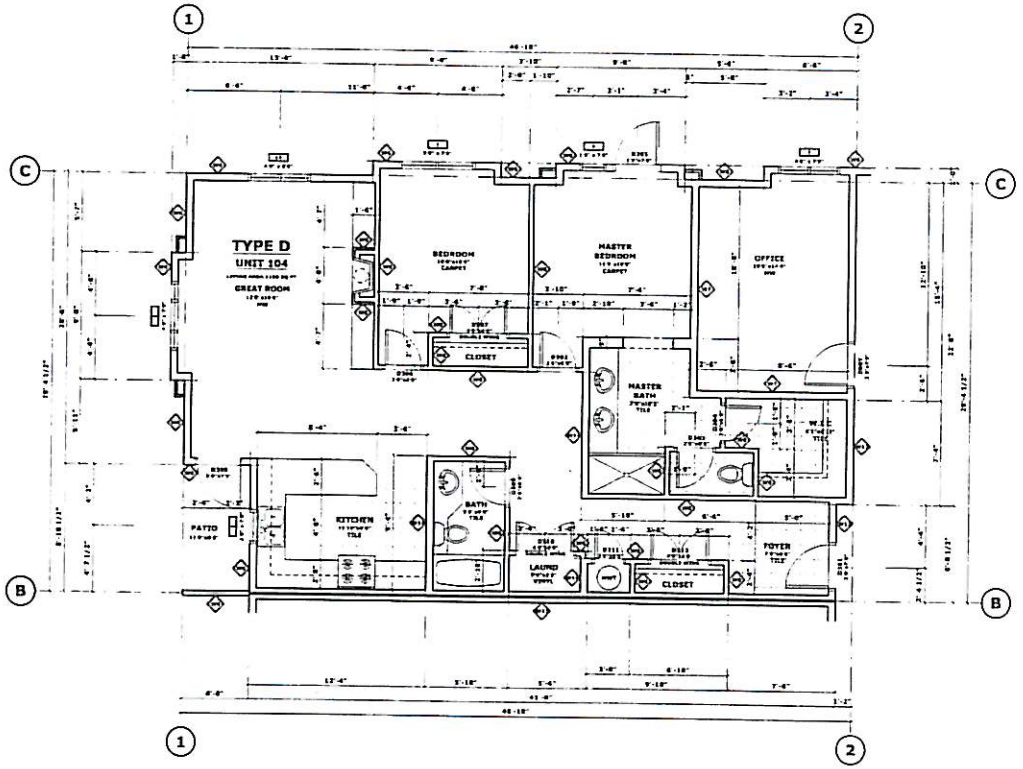
LAWSON & GORDON

Project Architect: Ed Gooch	Sheet #: A-13
Project Manager: James Herman	
Drawn: Tri Manh	
Date: Jan.31.07	

LAWSON & GORDON
Kelowna, British Columbia.
UNIT 103 PLAN



1 A.14 UNIT 104 PLAN
Scale 1/4"=1'-0"

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Project Management & Marketing

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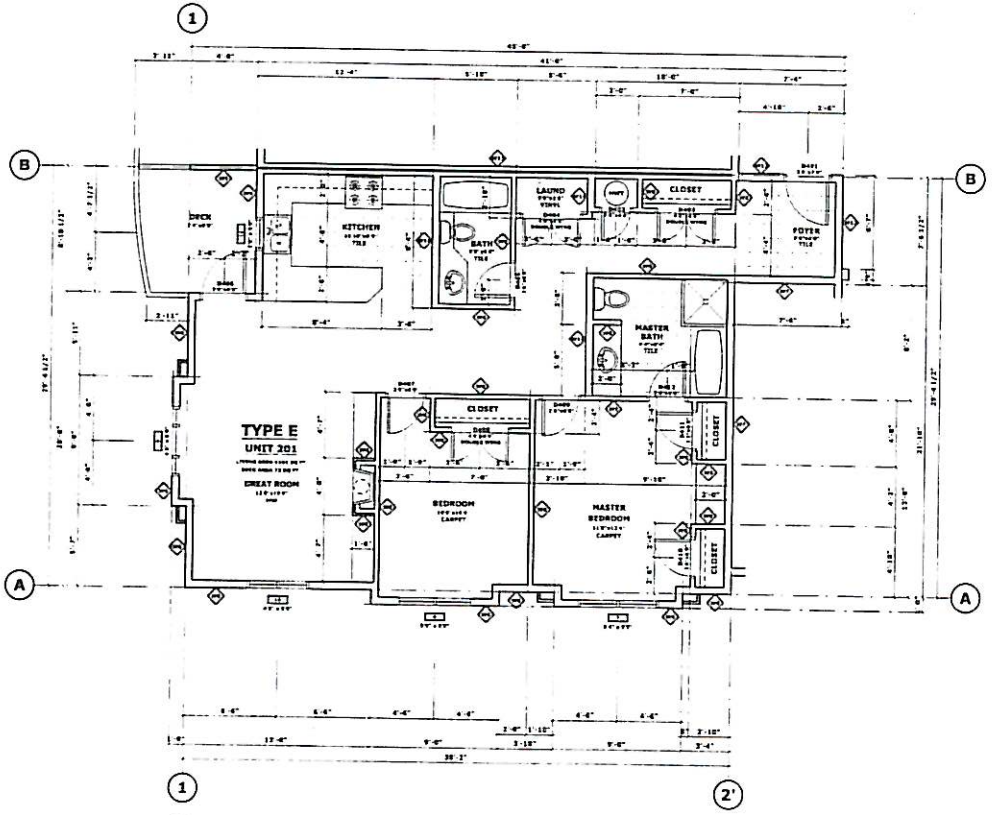
LAWSON
& GORDON

Ed Gooch	A-14
James Herman	
Tri Manh	
Jan.31.07	

LAWSON & GORDON
Kelowna, British Columbia.
UNIT 104 PLAN



1 / A.15 UNIT 201 PLAN
Scale: 1/4"=1'-0"

Herman Planning Group, Inc.

Project Manager / Marketing

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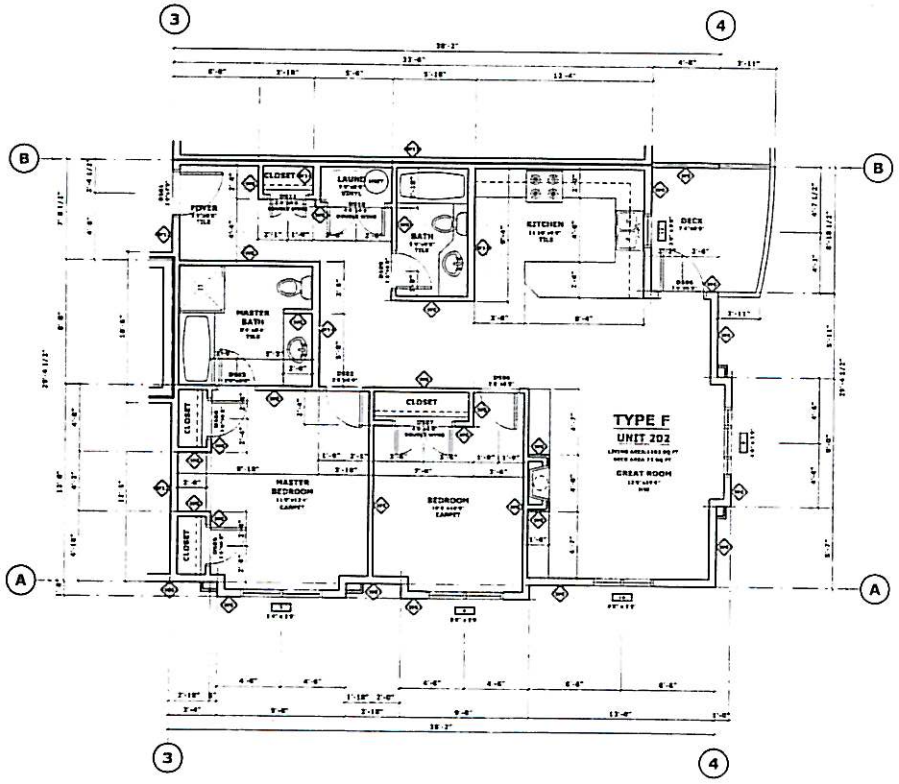
LAWSON
& GORDON

Project Architect: Ed Gooch	Drawn # A-15
Job #	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan 31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Drawing Name: UNIT 201 PLAN	



1 A.16 UNIT 202 PLAN
Scale: 1/4"=1'-0"

Herman Planning Group, Inc.

Project Manager & Marketing

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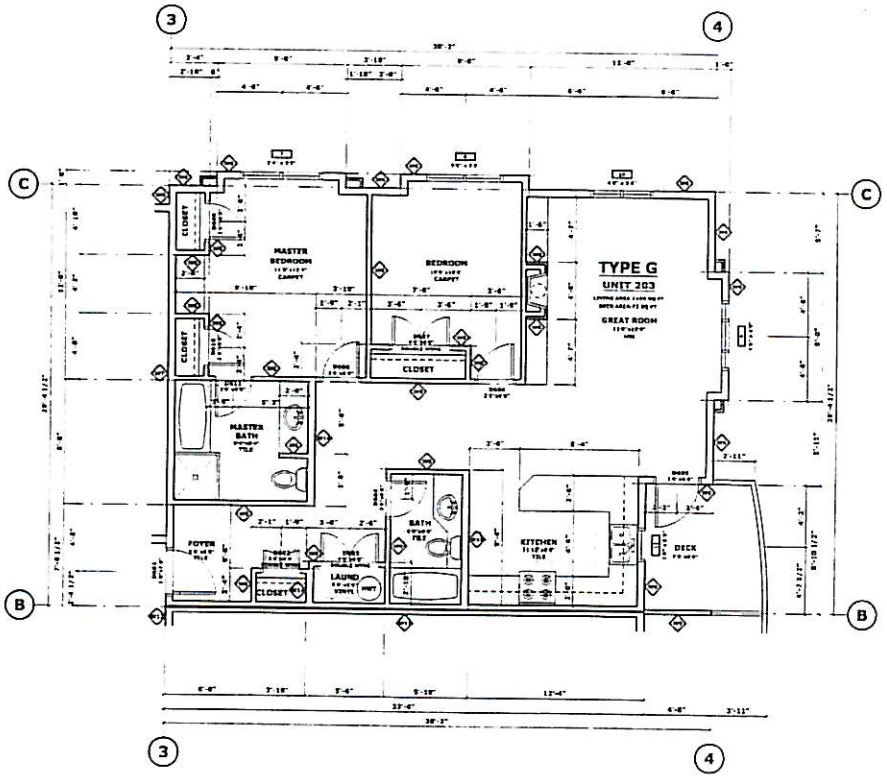
Local Architect of Regional

LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet #: A-16
Job #:	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: UNIT 202 PLAN	



1 / A.17 UNIT 203 PLAN
Scale: 1/4" = 1'-0"

Herman Planning Group, Inc.
Project Manager & Marketing

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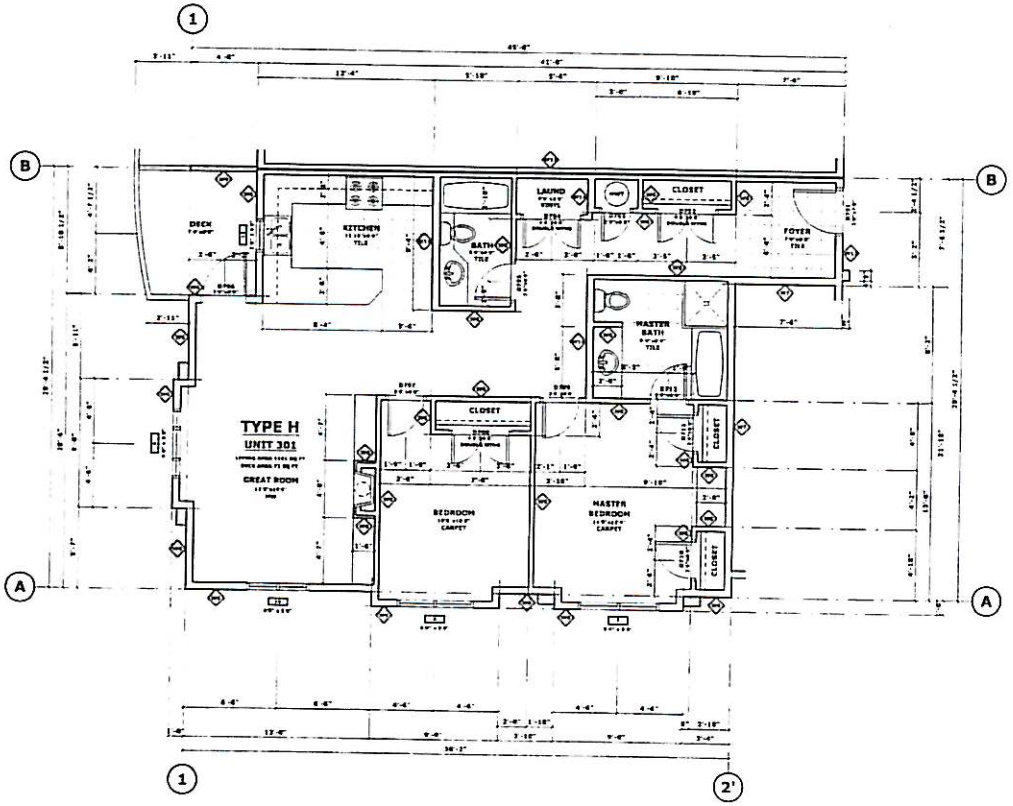
LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet #
Job #	A-17
Project Manager: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan 31 07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: UNIT 203 PLAN	



1 A-18 UNIT 301 PLAN
Scale: 1/4"=1'-0"

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Project Manager & Marketing

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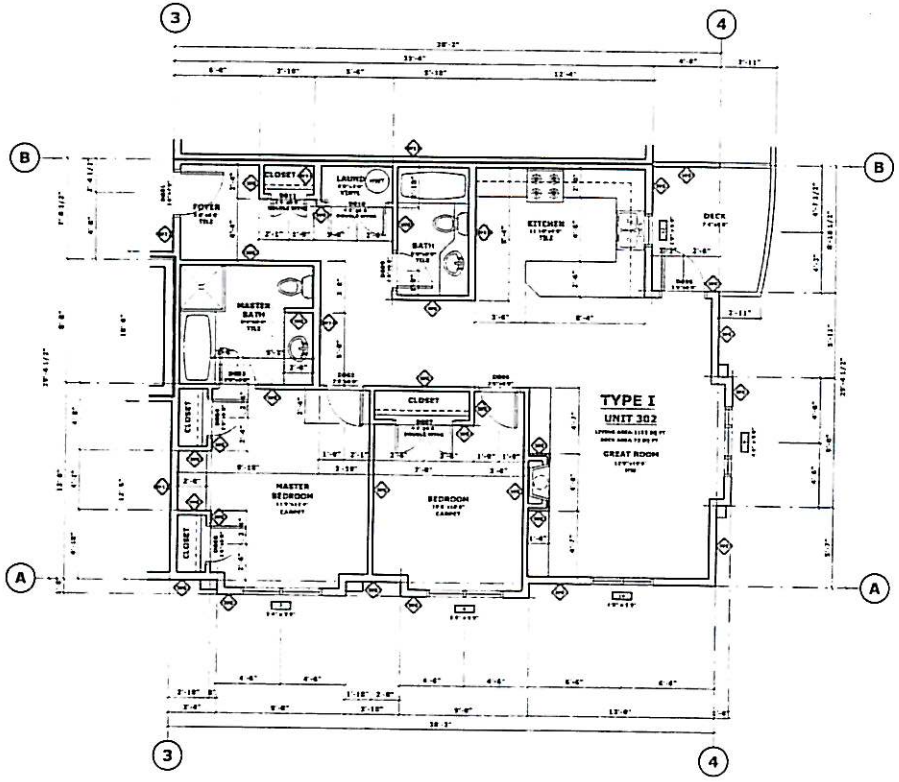
LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet # A-18
Job #	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: UNIT 301 PLAN	



1 A-19 UNIT 302 PLAN
Scale: 1/4"=1'-0"

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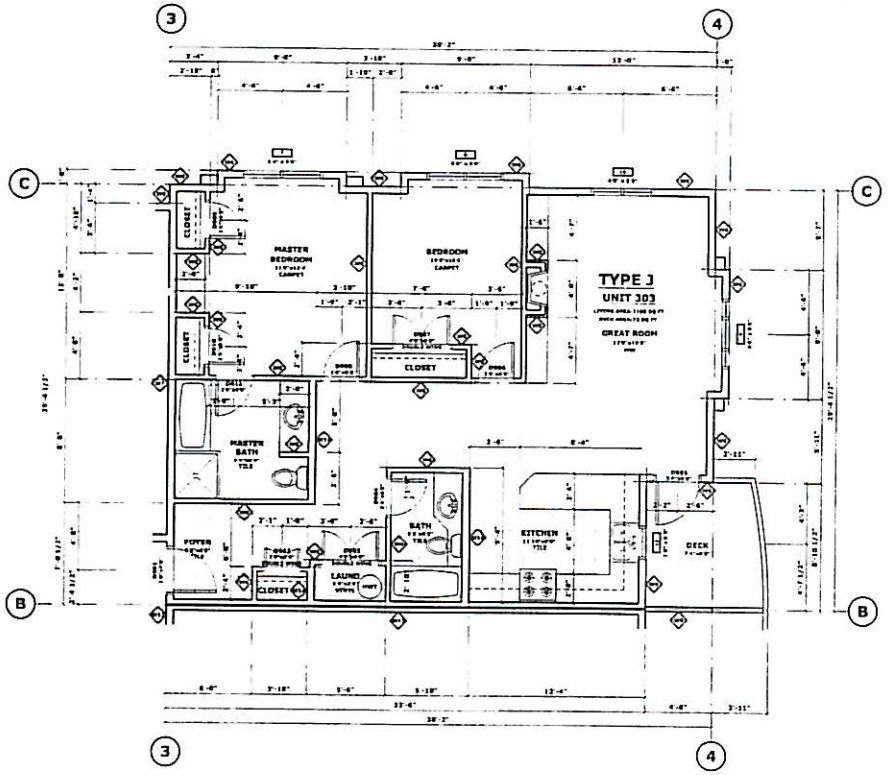
Leads Architect or Engineer

LAWSON
& GORDON

Project Engineer: Ed Gooch	Sheet #: A-19
Job #:	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: UNIT 302 PLAN	



1 A.20 UNIT 303 PLAN
Scale: 1/4"=1'-0"

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Project Manager & Marketing

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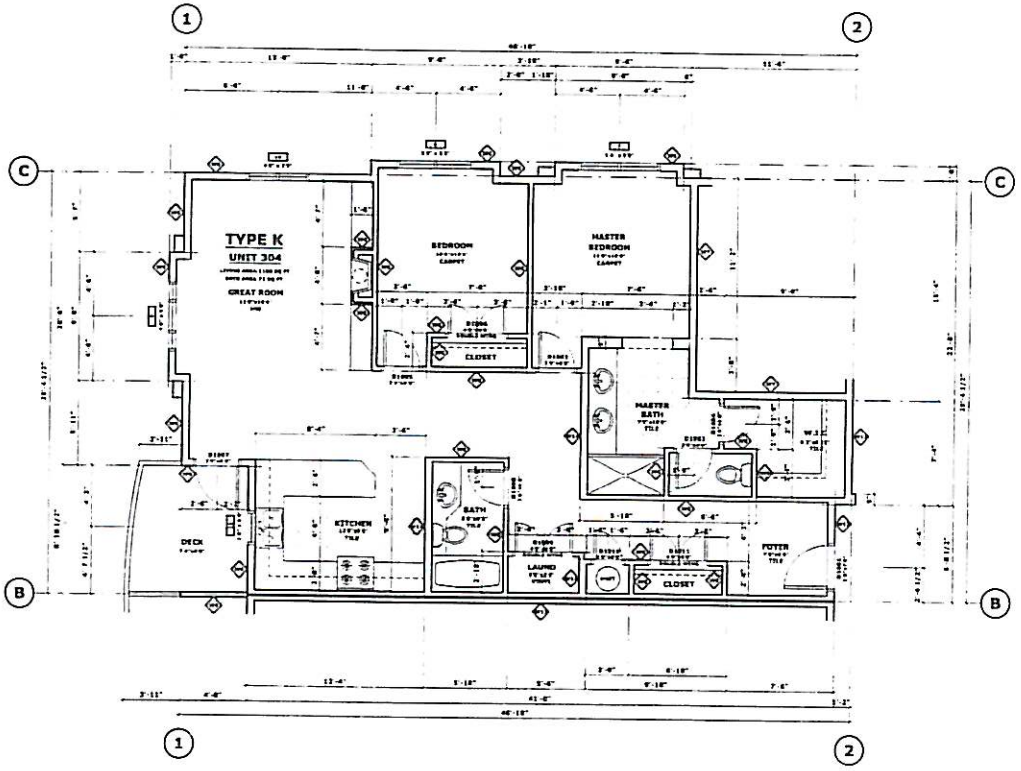
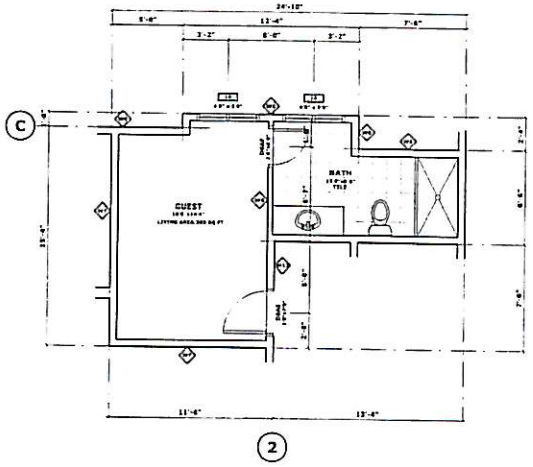
Email: info@gochdesigns.com

LAWSON
& GORDON

Drawn by: Ed Gooch	Sheet # A-20
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan 31 07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: UNIT 303 PLAN	



1 A-21 UNIT 304 PLAN
Scale: 1/4"=1'-0"



2 A-21 GUEST PLAN
Scale: 1/4"=1'-0"

H+
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Project Manager & Marketing

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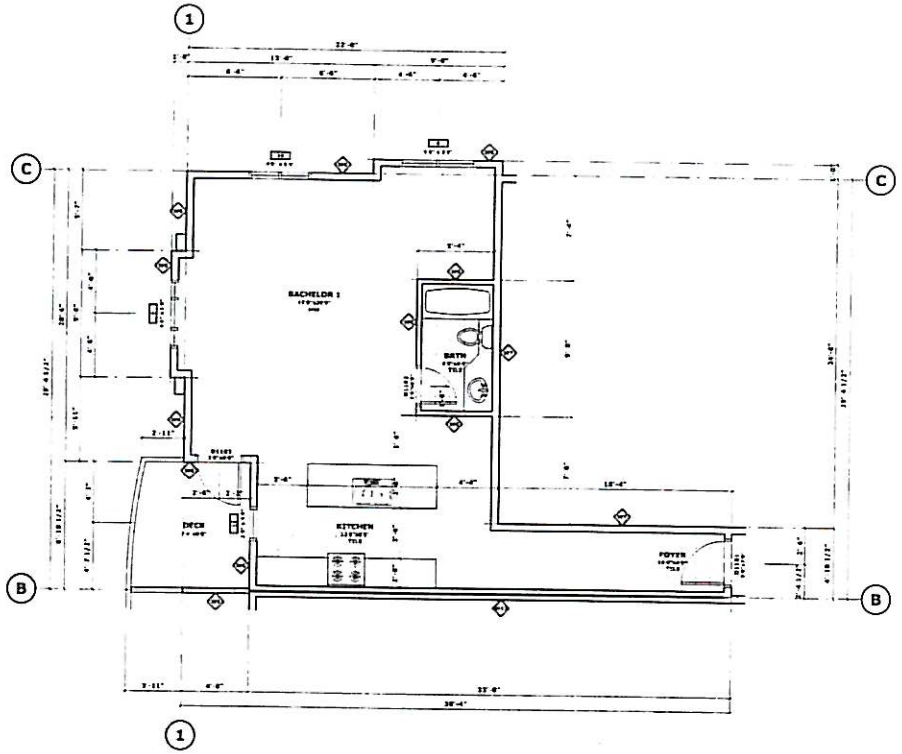
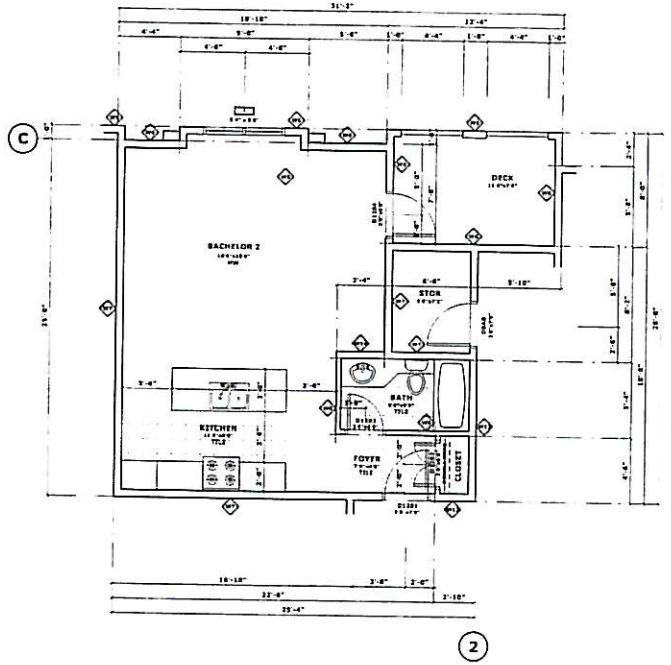
LAWSON
& GORDON

Project Architect: Ed Gooch	Drawing: A-21
Job #:	
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan 31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Drawing Name: UNIT 304 & GUEST PLANS	



1 A-22 BACHELOR 1
Scale: 1/4"=1'-0"



2 A-22 BACHELOR 2
Scale: 1/4"=1'-0"

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planning design marketing
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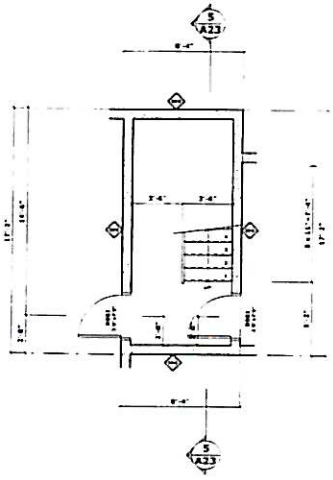
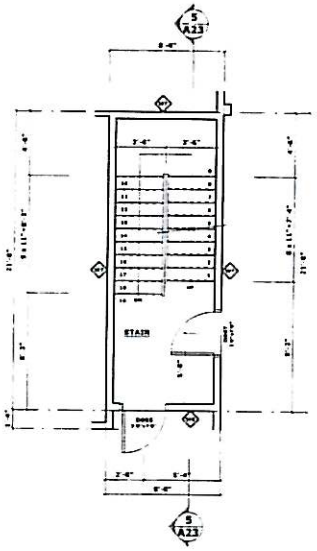
LAWSON
& GORDON

Ed Gooch	A-22
James Herman	
Tri Manh	
Jan.31.07	

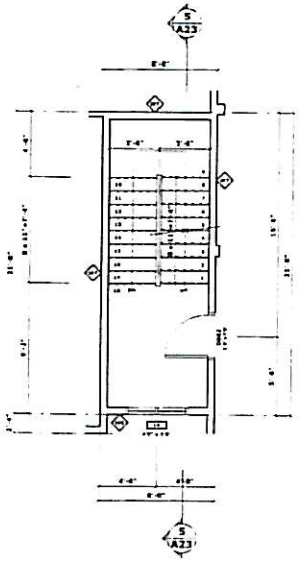
LAWSON & GORDON
Kelowna, British Columbia.
BACHELOR 1 & 2 PLANS



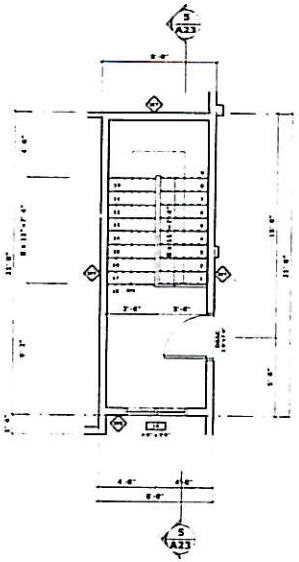
1 A-23 PARKING LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



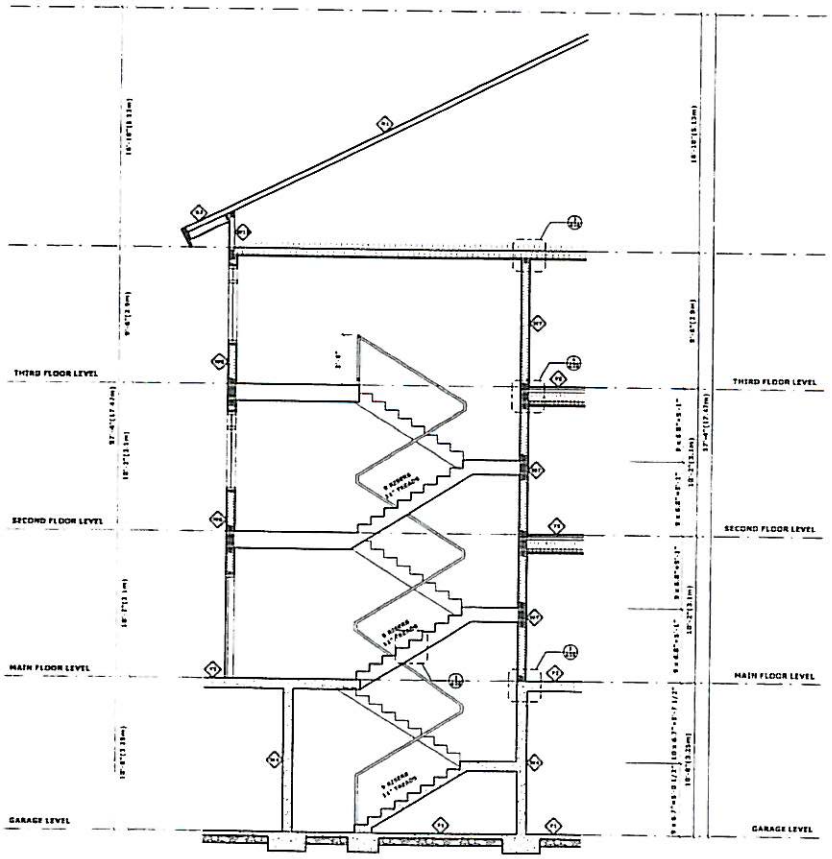
2 A-23 MAIN LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



3 A-23 SECOND LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



4 A-23 THIRD LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



5 A-23 STAIR SECTION
Scale: 1/4"=1'-0"

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Project Manager & Marketing

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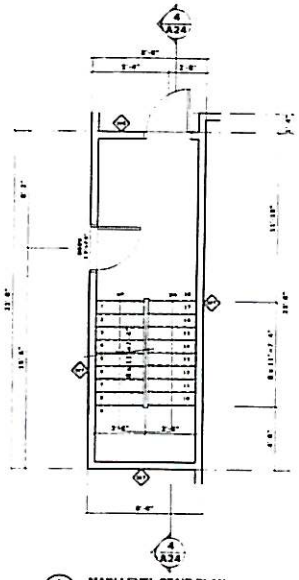
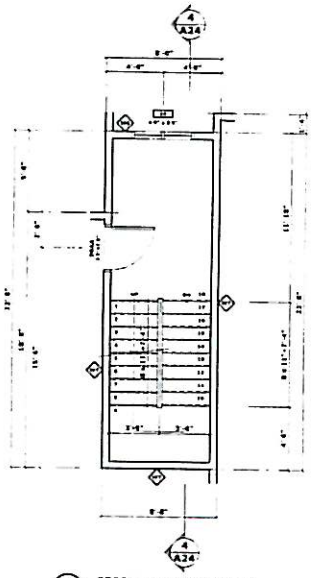
LAWSON
& GORDON

Ed Gooch	A-23
James Herman	
Tri Manh	
Jan.31.07	

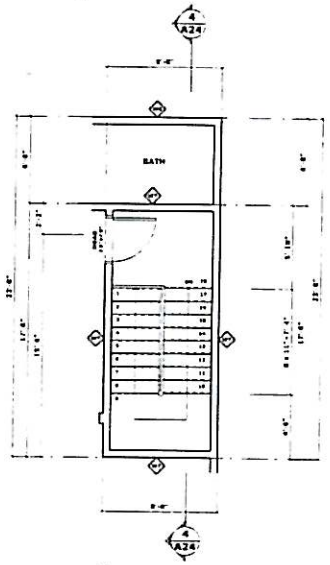
LAWSON & GORDON
Kelowna, British Columbia.
STAIR PLANS & STAIR SECTION



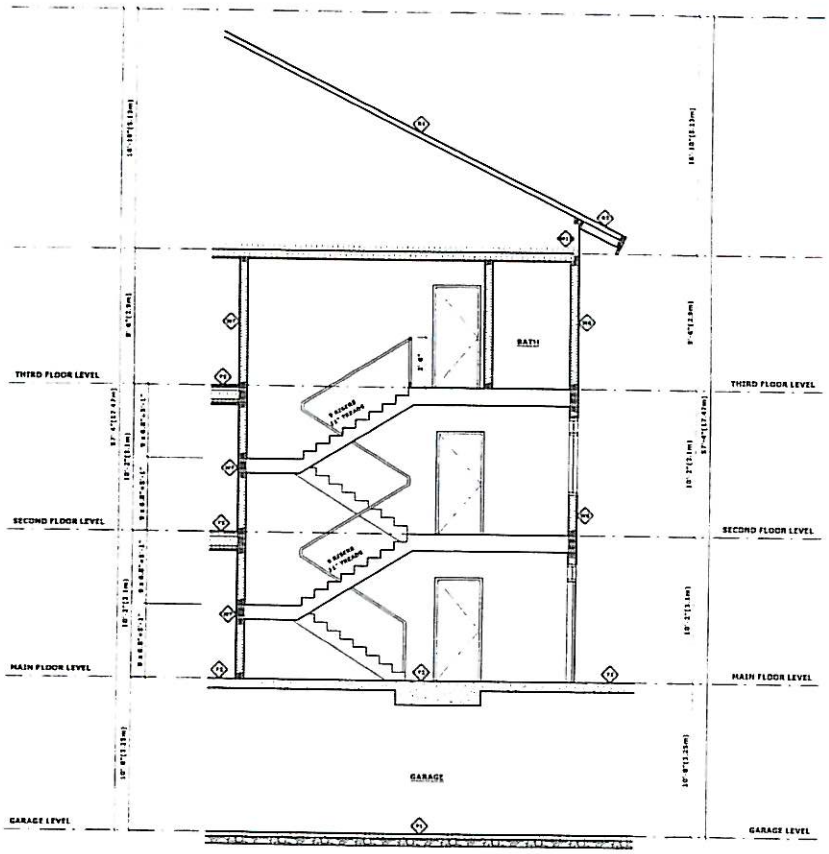
1 A-24 MAIN LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



2 A-24 SECOND LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



3 A-24 THIRD LEVEL STAIR PLAN
Scale: 1/4"=1'-0"



4 A-24 STAIR SECTION
Scale: 1/4"=1'-0"

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Project Manager & Marketing

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LAWSON
& GORDON

Project Architect: Ed Gooch	Sheet # A-24
Job #	
Project Designer: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Sheet Name: STAIR PLANS & STAIR SECTION	

DOOR SCHEDULE

DOOR SCHEDULE			No.	SIZE		DOOR				FRAME		HARDWARE			REMARKS
						TYPE		EXTRA	FINISH	TYPE	FINISH	HINGE	FUNCT.	MISCELLANEOUS	
AREA SPECIFICATIONS	FOUNDATIONS	ROOM	DOOR LABEL	WIDTH	HEIGHT	STYLE	WOOD HOLLOW CORE	WOOD SOLID CORE	METAL HOLLOW CORE	METAL SOLID CORE	FIRE RATING	PAINTED	STAINED	SPECIAL FINISH	TYPE	WOOD	METAL	SPECIAL FINISH	PAINTED	STAINED	SPECIAL FINISH	BUTT	PIVOT	PASSAGE SET	DEADBOLT	CLOSER	THRESHOLD	WEATHERSTRIPPING	KICK PLATE	DOOR STOP	DETAIL
GARAGE	ONE	GARAGE/BICYCLE	D001A	12'-0"	7'-0"	C			•			•			GARAGE DOOR
		GARAGE	D001B	9'-0"	7'-0"	C			•			•			
		GARAGE	D001C	16'-0"	8'-0"	C			•			•			GARAGE DOOR
		BICYCLE	D002	3'-0"	7'-0"	B			•	•	90	•	•	•

DOOR SCHEDULE

Area Designations	Duplications	Door Location	Door Label	Extra	Misc Details (Remarks)
TYPE C	ONE	FOYER	D201	20	DOUBLE WING; DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING; FRENCH WITH TRANSOM
		CLOSET	D202		
		LAUNDRY	D203		
		BATH	D204		
		PATIO	D205	X	
		BEDROOM	D206		
		CLOSET	D207		
		MASTER BEDROOM	D208		
		PATIO	D209	X	
		CLOSET	D210		
		CLOSET	D211		
		MASTER BEDROOM	D212		
TYPE D	ONE	FOYER	D301	20	FRENCH WITH TRANSOM; DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING; DOUBLE WING
		MASTER BEDROOM	D302		
		WC	D303		
		WIC	D304	45	
		PATIO	D305	X	
		BEDROOM	D306		
		CLOSET	D307		
		PATIO	D308	X	
		BATH	D309		
		LAUNDRY	D310		
		HWT	D311		
		CLOSET	D312		
TYPE F	ONE	FOYER	D401	20	DOUBLE WING; DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING
		CLOSET	D402		
		HWT	D403		
		LAUNDRY	D404		
		BATH	D405		
		DECK	D406		
		BEDROOM	D407		
		CLOSET	D408		
		MASTER BEDROOM	D409		
		CLOSET	D410		
		CLOSET	D411		
		MASTER BATH	D412		
TYPE [illegible]	ONE	FOYER	D501	20	DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING; DOUBLE WING
		MASTER BEDROOM	D502		
		MASTER BATH	D503		
		CLOSET	D504		
		CLOSET	D505		
		BEDROOM	D506		
		CLOSET	D507		
		DECK	D508		
		BATH	D509		
		LAUNDRY	D510		
		CLOSET	D511		
TYPE [illegible]	ONE	FOYER	D601	20	DOUBLE WING; DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING
		CLOSET	D602		
		LAUNDRY	D603		
		BATH	D604		
		DECK	D605		
		BEDROOM	D606		
		CLOSET	D607		
		MASTER BEDROOM	D608		
		CLOSET	D609		
		CLOSET	D610		
		MASTER BATH	D611		
TYPE H	ONE	FOYER	D701	20	DOUBLE WING; DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING
		CLOSET	D702		
		HWT	D703		
		LAUNDRY	D704		
		BATH	D705		
		DECK	D706		
		BEDROOM	D707		
		CLOSET	D708		
		MASTER BEDROOM	D709		
		CLOSET	D710		
		CLOSET	D711		
		MASTER BATH	D712		
TYPE I	ONE	FOYER	D801	20	FRENCH WITH TRANSOM; DOUBLE WING; DOUBLE WING
		MASTER BEDROOM	D802		
		MASTER BATH	D803		
		CLOSET	D804		
		CLOSET	D805		
		BEDROOM	D806		
		CLOSET	D807		
		DECK	D808		
		BATH	D809		
		LAUNDRY	D810		
		CLOSET	D811		
TYPE C	ONE	FOYER	D901	20	DOUBLE WING; DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING
		CLOSET	D902		
		LAUNDRY	D903		
		BATH	D904		
		DECK	D905		
		BEDROOM	D906		
		CLOSET	D907		
		MASTER BEDROOM	D908		
		CLOSET	D909		
		CLOSET	D910		
		MASTER BATH	D911		
TYPE D	ONE	FOYER	D1001	20	DOUBLE WING; FRENCH WITH TRANSOM; DOUBLE WING; DOUBLE WING
		MASTER BEDROOM	D1002		
		WC	D1003		
		WIC	D1004	45	
		BEDROOM	D1005		
		CLOSET	D1006		
		DECK	D1007		
		BATH	D1008		
		LAUNDRY	D1009		
		HWT	D1010		
		CLOSET	D1011		
B1		FOYER	D1101	20	FRENCH WITH TRANSOM
		BATH	D1102		
		DECK	D1103		
B2		FOYER	D1201	20	DOUBLE WING; FRENCH WITH TRANSOM
		CLOSET	D1202		
		BATH	D1203		
		DECK	D1204		

Herman Planning Group Inc.

Project Manager & Marketing

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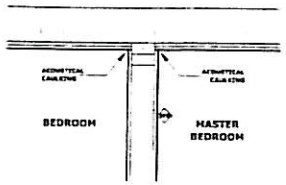
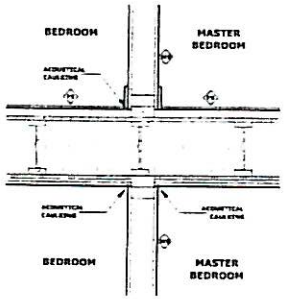
LAWSON
& GORDON

Project Architect	Ed Gooch
Project Manager	James Herman
Drawn	Tri Manh
Date	Jan 31 07
Sheet	A-26

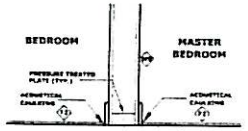
LAWSON & GORDON
Kelowna, British Columbia
WINDOW ELEVATION & DOOR SCHEDULE (SHEET 2 OF 2)



1 DETAIL - INTERIOR WALL @ ROOF
SCALE : 1/10

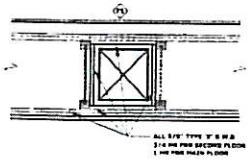


3 DETAIL - INTERIOR WALL @ FLOOR
SCALE : 1/10

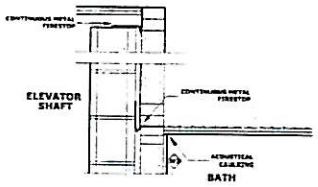


GARAGE

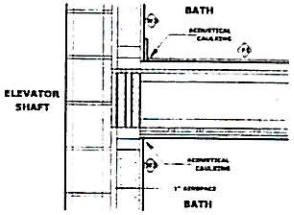
3 DETAIL - INTERIOR WALL @ SLAB
SCALE : 1/10



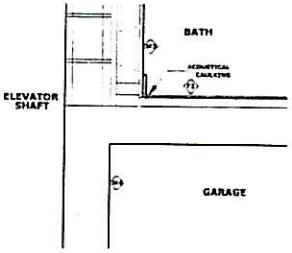
15 TYPICAL DETAIL -
- DUCT BETWEEN FLOOR JOIST



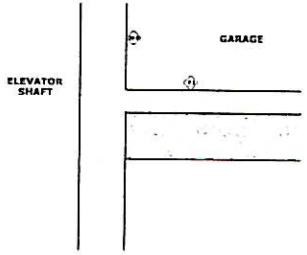
4 DETAIL - ELEVATOR SHAFT AT ROOF
SCALE : 1/10



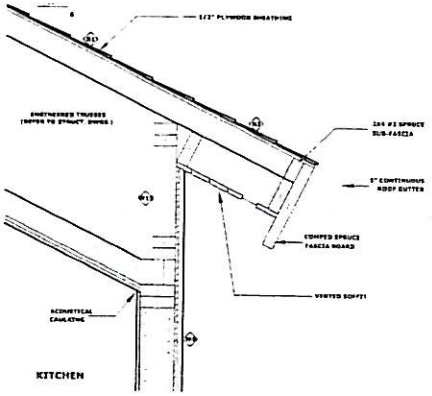
5 DETAIL - ELEVATOR SHAFT AT FLOOR
SCALE : 1/10



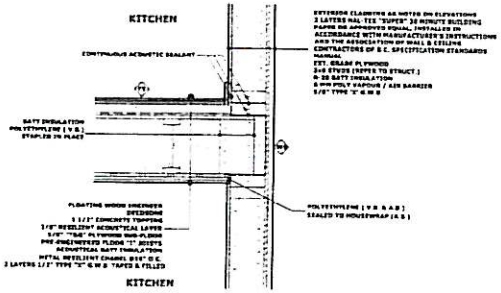
6 DETAIL - ELEVATOR SHAFT AT MAIN FLOOR SLAB
SCALE : 1/10



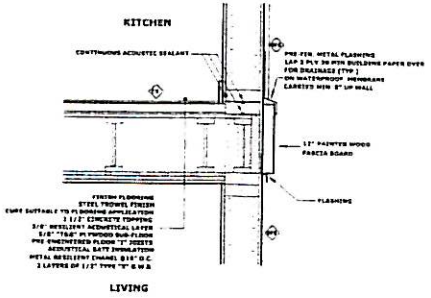
7 DETAIL - CONCRETE WALL @ SLAB
SCALE : 1/10



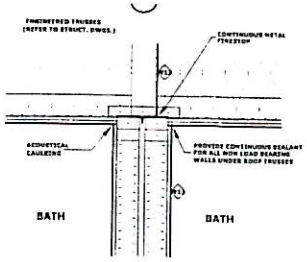
8 ROOF DETAIL
SCALE : 1/10



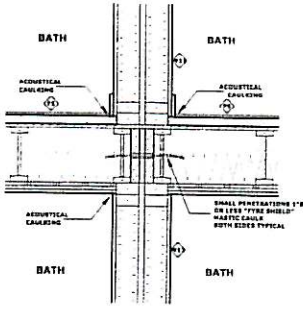
9 DETAIL - EXTERIOR WALL @ FLOOR
SCALE : 1/10



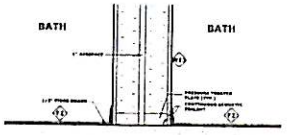
10 DETAIL - EXTERIOR WALL @ FLOOR
SCALE : 1/10



11 DETAIL - PARTY WALL @ ROOF
SCALE : 1/10

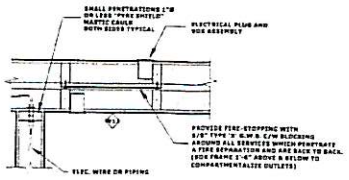


13 DETAIL - PARTY WALL @ FLOOR
SCALE : 1/10



GARAGE

13 DETAIL - PARTY WALL @ SLAB
SCALE : 1/10



14 TYPICAL PLAN DETAIL -
- PENETRATIONS AT PARTY WALLS

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planning, design, marketing
Project Managers & Marketing

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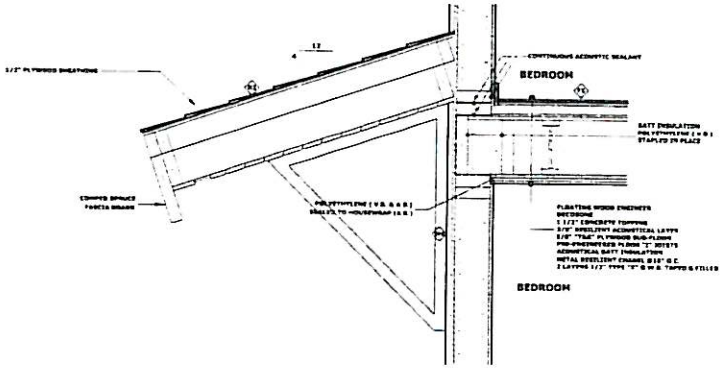
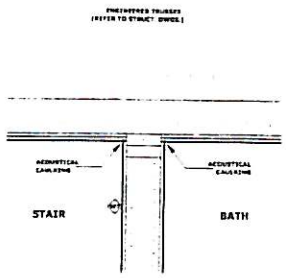
LAWSON
& GORDON

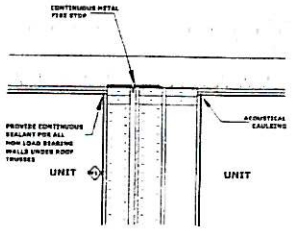
Project Architect: Ed Gooch	Sheet #
Job #	A-27
Project Manager: James Herman	
Drawn: Tri Manh	
Checked	
Date: Jan.31.07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia.	
Drawn Name: DETAIL SECTIONS	



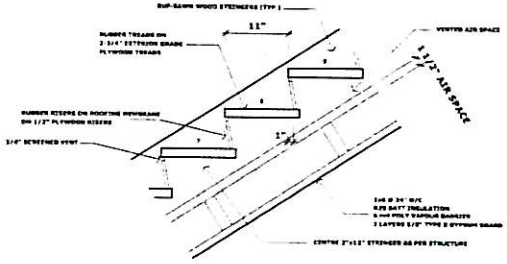
1 ROOF DETAIL
SCALE : 1/10



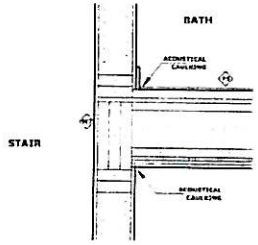
3 DETAIL - INTERIOR WALL @ ROOF
SCALE : 1/10



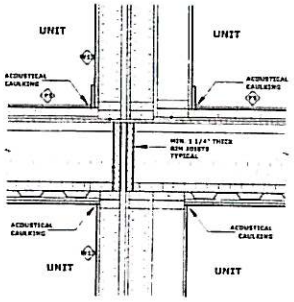
7 DETAIL - PARTY & CHASE WALL @ CEILING
SCALE : 1/10



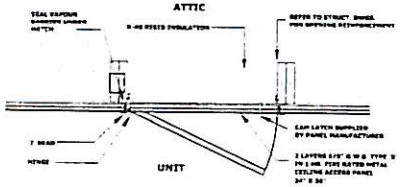
2 DETAIL - STAIR RISER
SCALE : 1/10



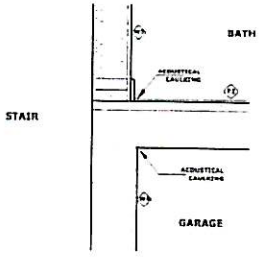
4 DETAIL - INTERIOR WALL @ FLOOR
SCALE : 1/10



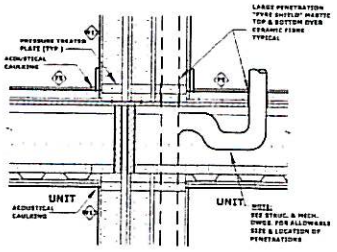
8 DETAIL - PARTY & CHASE WALL @ FLOOR
SCALE : 1/10



12 TYPICAL DETAIL - ATTIC ACCESS
SCALE : 1/10



5 DETAIL - CONCRETE WALL AT MAIN FLOOR SLAB
SCALE : 1/10



9 DETAIL - PENETRATIONS @ CHASE WALL @ PARTY WALL
SCALE : 1/10

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Project Manager & Marketing

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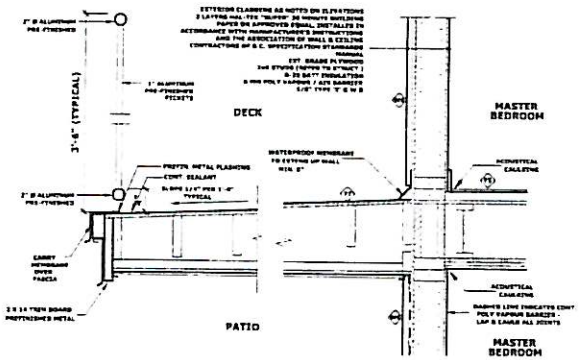
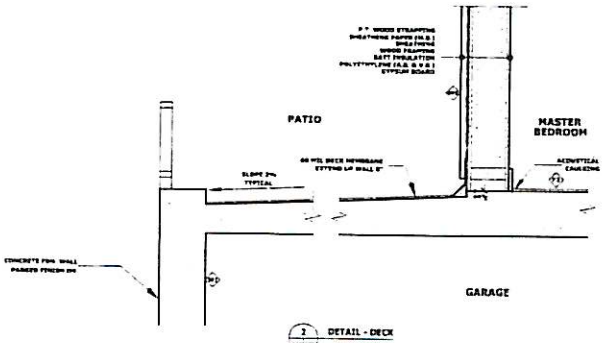
LAWSON
& GORDON

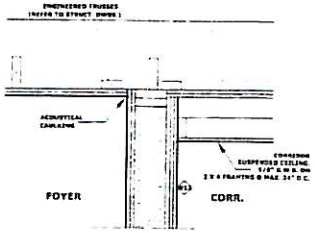
Project Architect: Ed Gooch	Sheet # A-28
Project Manager: James Herman	
Drawn: Tri Manh	
Checked:	
Date: Jan 31 07	
Project Name: LAWSON & GORDON	
Kelowna, British Columbia	
Sheet Name: DETAIL SECTIONS	



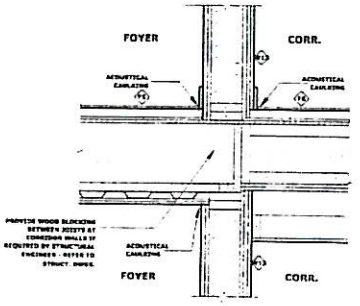
1 DETAIL - DECK
SCALE : 1/10



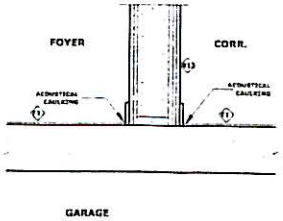
2 DETAIL - DECK
SCALE : 1/10



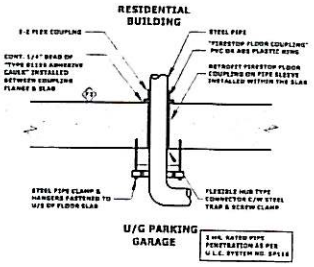
3 DETAIL - CORR. WALL & CHASE WALL AT ROOF
SCALE : 1/10



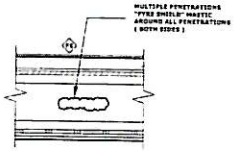
4 DETAIL - CORR. WALL & CHASE WALL AT FLOOR
SCALE : 1/10



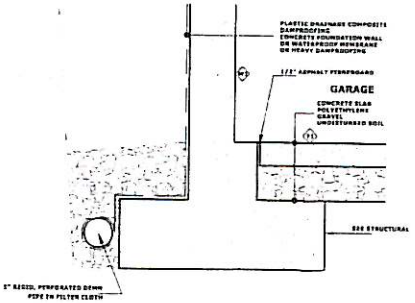
5 DETAIL - CORR. WALL & CHASE WALL AT SLAB
SCALE : 1/10



7 DETAIL - PIPE PENETRATIONS @ SLAB
SCALE : 1/10



8 TYPICAL DETAIL -
- PIPE/CONDUIT BETWEEN FLOOR JOIST



6 DETAIL - CONCRETE WALL @ SLAB
SCALE : 1/10

H+
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Project Management & Marketing

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Local Architect of Support

LAWSON
& GORDON

Project Architect: Ed Gooch
Job #
Project Manager: James Herman
Drawn: Tri Manh
Checked
Date: Jan.31.07
Project Name: LAWSON & GORDON
Kelowna, British Columbia
Sheet Name: DETAIL SECTIONS
Sheet #: A-29